

Figure 1. A schematic diagram of the experimental setup. The subject is seated in a chair, viewing a screen. The screen displays a target (a small circle) and a starting point (a larger circle). The subject's hand is positioned at the starting point. The distance between the starting point and the target is labeled as d . The subject's hand is moved towards the target, and the distance traveled is labeled as x . The subject's hand is stopped at the target, and the distance from the starting point to the hand is labeled as x_f . The subject's hand is then moved back to the starting point, and the distance traveled is labeled as x_r . The subject's hand is stopped at the starting point, and the distance from the starting point to the hand is labeled as x_i .

CONSULTANTS:

SURVEY SOUNDING SURVEYING & ASSOCIATES, INC. 801 GORDON AVE. DAVE, FLORIDA 33514 PH: (864) 686-9885	ARCHITECT LINDBERGH HYTER, A.S.A. 10000 W. WINDYBROOK DR. 4050 N. E. 10TH AVENUE DADE COUNTY, FLORIDA 33334 PH: (954) 492-9009
CIVIL ENGINEER MARTIN GROSS, P.E. CONSULTING ENGINEER 1310 NE 47 COURT OMLAND PARK, FLORIDA 33054 PH: (864) 772-1380	STRUCTURAL ENGINEER JOHNSON STRUCTURAL GROUP, INC. 1000 EAST HILSBORO BLVD, SUITE 20 DEERFIELD BEACH, FL 33441 PH: (864) 371-8868
MECHANICAL / PLUMBING / ELECTRICAL ENGINEER MCMAHON ENGINEERING, INC. 900 W. UNION BLVD., SUITE 102 MELRAY BEACH, FL 33444 PH: (561) 275-9808	

Reviewed and approved
for Highlighted "Clouded"
Revisions
ONLY

PERMIT ONLY

DRAWING INDEX
PROJECT DIRECTOR

A-0.01

ISLAND BREEZE
ISLAND POINT, LLC.
2705 N.E. Military Blvd.
13 941

GARCIA STROMBERG

APR 16 2003

© Georgia State Library

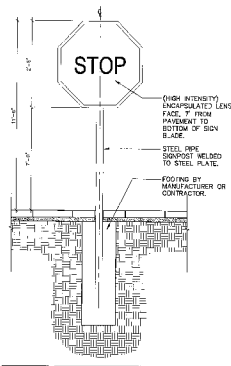
GARCIA STROMBERG
ARCHITECTURE
OFFICE OF DESIGN, RESEARCH
AND CONSTRUCTION
1000 N. 10TH AVE., SUITE 100
DENVER, CO 80202
TEL: 303.733.8800 FAX: 303.733.8801
WWW.GARCIASTROMBERG.COM

ISLAND BREEZE
at Deerfield Beach
131 N.E. 2nd Street
Deerfield Beach, Broward County, Florida

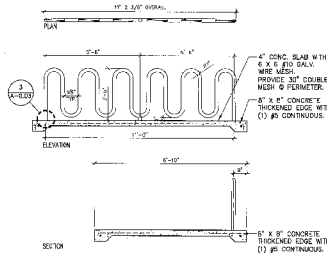
ISLAND POINT, LLC.
1000 N. Broward Blvd.,
Suite 205
Ft. Lauderdale, FL 33302

A-0.01
 TITLE # _____
 PROJECT NAME _____
 DRAWING INDEX _____
 PROJECT DIRECTORY _____
 225 UNIVERSITY PARKWAY, SUITE 200, ALBUQUERQUE, NM 87106-4001 (505) 243-7700
 WWW.AIA-ALBUQUERQUE.ORG
 1-800-451-4273
 AUGUST 15, 2008

Downloaded from <http://ajphaphysciaphysiol.phapublications.org/> on November 14, 2015



STOP SIGN DETAIL
SCALE: 3/4"=1'-0" (A-0.03)

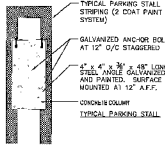


BIKE RACK DETAILS
SCALE: N.T.S. (A-0.03)

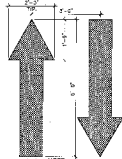
BIKE RACK MOUNTING DETAIL
SCALE: N.T.S. (A-0.03)

STANDARD PIPE PROTECTION
SCALE: N.T.S. (A-0.03)

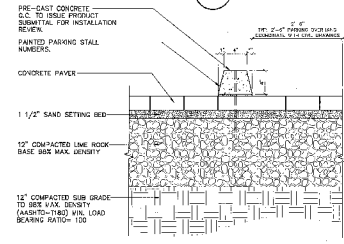
SPECIFICATION FOR CONCRETE SEALANT	
PRODUCT:	SANTILE 925 BY CARBOLINE
COLOR:	CLEAR W/ COLORED QUARTZ AGGREGATE
SURFACE PREPARATION:	AS PER MANUFACTURE INSTRUCTIONS AND ASTM - D4398
INSTALLATION:	AS PER MANUFACTURE INSTRUCTIONS AND SECTION 02700
CLEAN-UP:	AS PER MANUFACTURE INSTRUCTIONS AND SECTION 02700
FINISH:	AS PER MANUFACTURE INSTRUCTIONS AND SECTION 02700
TESTING:	AS PER MANUFACTURE INSTRUCTIONS AND SECTION 02700
REPAIRS:	AS PER MANUFACTURE INSTRUCTIONS AND SECTION 02700
MAINTENANCE:	AS PER MANUFACTURE INSTRUCTIONS AND SECTION 02700



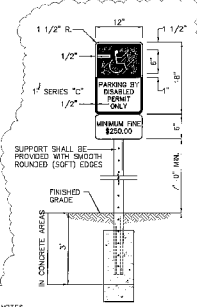
COL. GUARD DETAIL
SCALE: 1 1/2"=1'-0" (A-0.03)



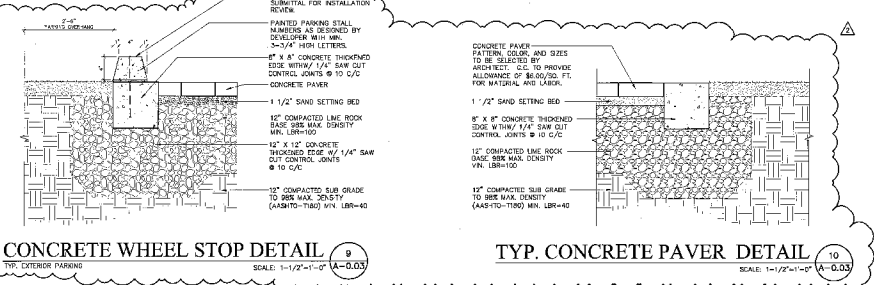
DIRECTION ARROWS
SCALE: 1/2"=1'-0" (A-0.03)



CONCRETE WHEEL STOP DETAIL
SCALE: 1-1/2"=1'-0" (A-0.03)



HANDICAP DETAIL SIGN
SCALE: N.T.S. (A-0.03)



CONCRETE WHEEL STOP DETAIL
SCALE: 1-1/2"=1'-0" (A-0.03)

TYP. CONCRETE PAVER DETAIL
SCALE: 1-1/2"=1'-0" (A-0.03)

PERMIT ONLY

GARCIA STROMBERG ARCHITECTS
1801 NE 2nd Street
Deerfield Beach, Florida 33442
Phone: 561-241-1111
Fax: 561-241-1112
Email: info@garciastromberg.com
Website: www.garciastromberg.com

ISLAND BREEZE at Deerfield Beach
1801 NE 2nd Street
Deerfield Beach, Florida 33442
Phone: 561-241-1111
Fax: 561-241-1112
Email: info@garciastromberg.com
Website: www.garciastromberg.com

ISLAND BREEZE at Deerfield Beach
1801 NE 2nd Street
Deerfield Beach, Florida 33442
Phone: 561-241-1111
Fax: 561-241-1112
Email: info@garciastromberg.com
Website: www.garciastromberg.com

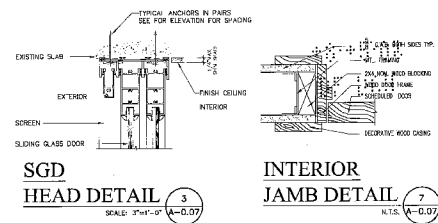
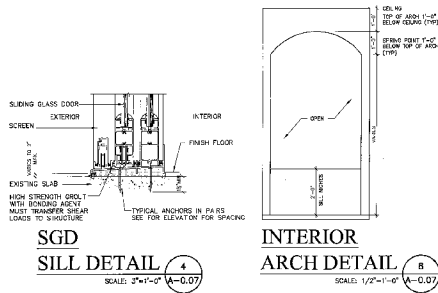
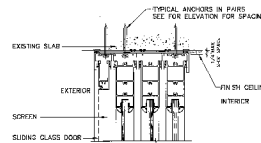
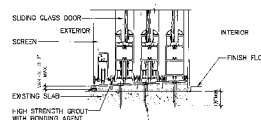
[illegible][illegible]

Figure 10 consists of eight diagrams, labeled (a) through (h), illustrating different types of doors. Each diagram shows a side elevation of the door with its height dimensioned as 6'-0".

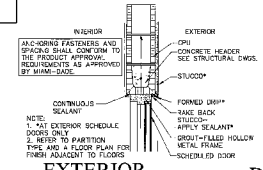
- (a) **LOUVERED DOOR**: A single door with horizontal louvers.
- (b) **DOUBLE LOUVERED DOOR**: Two doors with horizontal louvers, shown in an open position.
- (c) **FLUSH DOOR**: A solid, flat door.
- (d) **RAZED PANEL LOUVERED DOOR**: A door with a raised panel and horizontal louvers.
- (e) **BIFOLD LOUVERED DOOR**: A door with horizontal louvers and multiple vertical panels.
- (f) **RAZED PANEL BIFOLD DOOR**: A door with a raised panel and multiple vertical panels.
- (g) **DOUBLE SLIDING GLASS DOOR**: Two glass doors with vertical sliding panels.
- (h) **TRIPLE SLIDING GLASS DOOR**: Three glass doors with vertical sliding panels.



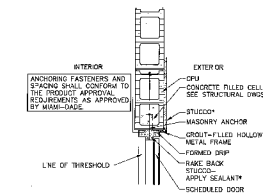
SCALE: 3"=1'-0" (A-0.0)



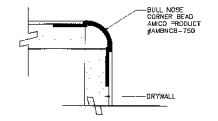
SCALE: 3-1-0 (A=0.0)



SCALE: 1"=1'-0" (A=0.0)



SCALE: 1"=1'-0" (A=0.0)



SCALE: NTS. **A-0.07**

Reviewed and approved
for Highlighted "Clouded"
Revisions
ONLY

PERMIT ONLY

A-0.07

**DOOR SCHEDULE
AND DETAILS**

**ISLAND BREEZE
at Deerfield Beach**

1931 N.E. 2nd Street
Deerfield Beach, Broward County,
Florida 33441

This schedule is intended for reference only. It does not constitute a contract. The actual door schedule shall be determined by the project architect.

A-0.08
WINDOW SCHEDULE
AND DETAILS

1. WINDOW SCHEDULE AND DETAILS ARE TO BE USED IN CONJUNCTION WITH THE 2008 FLOOR PLAN AND THE 2008 ELEVATION SHEETS.
 2. WINDOW SCHEDULE AND DETAILS ARE TO BE USED IN CONJUNCTION WITH THE 2008 FLOOR PLAN AND THE 2008 ELEVATION SHEETS.
 3. WINDOW SCHEDULE AND DETAILS ARE TO BE USED IN CONJUNCTION WITH THE 2008 FLOOR PLAN AND THE 2008 ELEVATION SHEETS.

ISLAND BREEZE
at Deerfield Beach

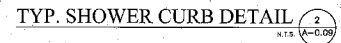
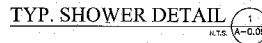
1501 N.E. 2nd Street
 Deerfield Beach, Florida 33441

PREPARED BY: **WILLIAMSON**
 DRAWN BY: **WILLIAMSON**
 CHECKED BY: **WILLIAMSON**
 DATE: **10/10/08**

1. WINDOW SCHEDULE AND DETAILS ARE TO BE USED IN CONJUNCTION WITH THE 2008 FLOOR PLAN AND THE 2008 ELEVATION SHEETS.
 2. WINDOW SCHEDULE AND DETAILS ARE TO BE USED IN CONJUNCTION WITH THE 2008 FLOOR PLAN AND THE 2008 ELEVATION SHEETS.
 3. WINDOW SCHEDULE AND DETAILS ARE TO BE USED IN CONJUNCTION WITH THE 2008 FLOOR PLAN AND THE 2008 ELEVATION SHEETS.

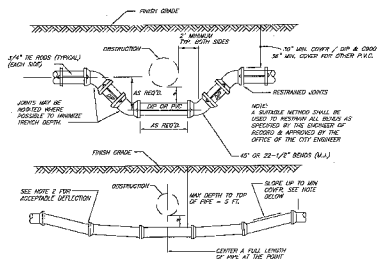
COMMON AREA FINISH SCHEDULE						
RESIGNATION	FLOOR	BASE	WALLS	CEILING		
AREA NUMBER	AREA NAME	MATERIAL/ FINISH	MATERIAL/ FINISH	MATERIAL/ FINISH	MATERIAL/ FINISH	REMARKS OF NOTES
101	POCKET ACCESS	---	---	STUCCO/PANIT	STUCCO	---
102	DUMP-SHED ENCLOSURE	SEALED CONC.	---	PANIT/PLASTER	PLASTER	---
103	MECHANICAL ROOM	SEALED CONC.	---	PANIT/PLASTER	PLASTER	---
104	STORAGE	SEALED CONC.	---	PANIT/PLASTER	PLASTER	---
105	ELEVATOR EQUIPMENT	SEALED CONC.	---	PANIT/PLASTER	PLASTER	---
106	CEILING	---	---	---	---	---
107	WEST STAIR	SEALED CONC.	---	PANIT	PLASTER	---
108	ENTR. TO POOL	---	---	STUCCO/PANIT	PLASTER	---
109	TRASH CHUTE	---	---	---	---	---
110	EAST STAIR	SEALED CONC.	---	PANIT	PLASTER	---
111	FIN. CHANG. ROOM	SEALED CONC.	---	PANIT	PLASTER	---
112	STORAGE	SEALED CONC.	---	PANIT	PLASTER	---
201	OPEN COMBUDR	---	---	STUCCO/PANIT	STUCCO	---
202	WEST STAIR	SEALED CONC.	---	PANIT	PLASTER	---
203	TRASH CHUTE	---	---	---	---	---
204	EAST STAIR	---	---	PANIT	PLASTER	---
301 & 401	OPEN COMBUDR	---	---	STUCCO/PANIT	STUCCO	---
302 & 402	EAST STAIR	SEALED CONC.	---	---	---	---
303 & 403	TRASH CHUTE	---	---	---	---	---
304 & 404	EAST STAIR	---	---	PANIT	PLASTER	---
501	OPEN COMBUDR	---	---	STUCCO/PANIT	STUCCO	---
502	WEST STAIR	SEALED CONC.	---	---	---	---
503	TRASH CHUTE	---	---	---	---	---
504	EAST STAIR	SEALED CONC.	---	PANIT	PLASTER	---

UNIT FINISH SCHEDULE						
DESIGNATION	FLOORS	BASE	WALLS	CEILING		
ROOM NAME	MATERIAL/ FINISH	MATERIAL/ FINISH	MATERIAL/ FINISH	MATERIAL/ FINISH	REMARKS OR NOTES	
HOTEL						
BEDROOM (1 & 2)	CARPET	---	PAINT	PAINT		
LAUNDRY ROOM	---	---	PAINT	PAINT		
BATHROOM (1 & 2)	TLT	---	PAINT	PAINT		
A/C ROOM W/ ZWH	TLT	---	PAINT	PAINT		
HALLWAYS	TLT	---	PAINT	PAINT		
KITCHEN	TLT	---	PAINT	PAINT		
MASTER BATH	TLT	---	PAINT	PAINT		
MASTER BEDROOM	TLT	---	PAINT	PAINT		
BBQ	CARPET	---	PAINT	PAINT		
GRILL ROOM	CARPET	---	PAINT	PAINT		
CLOSET AREAS	CARPET	---	PAINT	PAINT		
BALCONY, DECKS & MOON DECK	KOOL, SICK, FLOOR	---	PAINT	PAINT		



PERMIT ONLY

8-5-08
OF 101

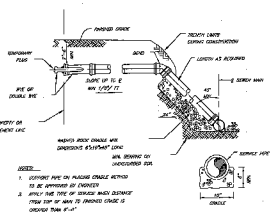


STANDARD SHALLOW UTILITY CROSSING - DEFLECTION TYPE

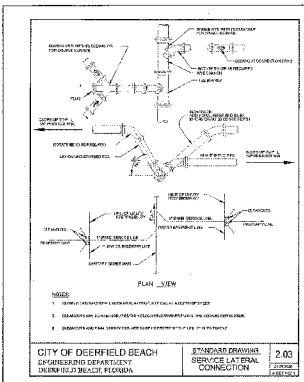
SPECIAL UTILITY CROSSING

- NOTES:
1. THE DEFLECTION TYPE CROSSING SHALL BE USED WHEREVER POSSIBLE ONLY UNLESS SPECIFIC ORDERS BY THE ENGINEER SHOW THE FITTING TYPE CROSSING IS ALLOWED.
 2. CONSTRUCT STANDARD CROSSING USING THE MANUFACTURER'S MAXIMUM DEFLECTION (MAX).
 3. COME THE CROSS WITH A SUFFICIENT CLOSING TO EXIST MANHOLE AFTER INSTALLATION SHALL BE MADE AND THE PIPE BEING USED.
 4. TOWN OF DADE INSPECTION INSPECTOR SHALL BE ADVISED AT LEAST 48 HOURS IN ADVANCE OF ALL DEFLECTION OPERATIONS.
 5. NO WATER OR OTHER FLUIDS SHALL BE USED TO SET OR SET THE CROSS. THE CROSS SHALL BE SET BY THE INSPECTOR. THE CROSS SHALL BE SET BY THE INSPECTOR. THE CROSS SHALL BE SET BY THE INSPECTOR.
- PIPE INSPECTION BY TOWN'S ENGINEERING INSPECTOR IS REQUIRED PRIOR TO INSTALLATION.
- * 18" MIN. CLEARANCE REQUIRED FOR WATER AND SEWER MAIN CROSSING. 12" MIN. CLEARANCE REQUIRED FOR OTHER TYPE UTILITY CROSSING. ENGAGEMENT IN CONCRETE IS NOT PERMITTED.

UTILITY CROSSINGS

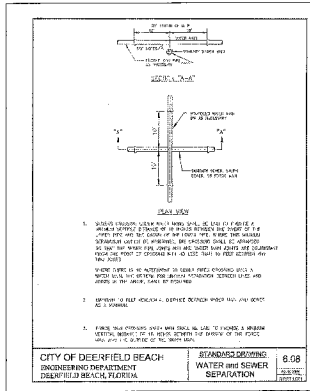


DEEP SERVICE RISER



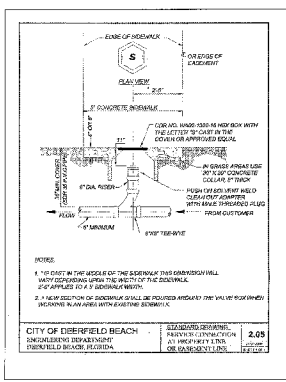
CITY OF DEERFIELD BEACH
ENGINEERING DEPARTMENT
DEERFIELD BEACH, FLORIDA

STANDARD DRAWING
SERVICE LATERAL CONNECTION
2.09
1/1/00
1/1/00



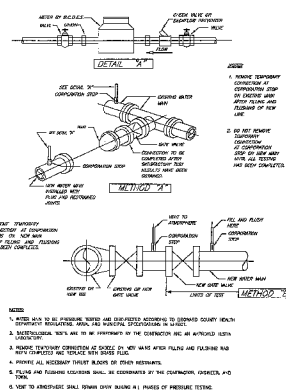
CITY OF DEERFIELD BEACH
ENGINEERING DEPARTMENT
DEERFIELD BEACH, FLORIDA

STANDARD DRAWING
WATER AND SEWER SEPARATION
8.08
1/1/00
1/1/00



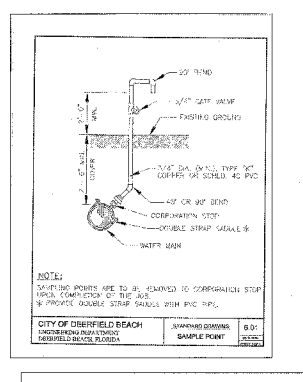
CITY OF DEERFIELD BEACH
ENGINEERING DEPARTMENT
DEERFIELD BEACH, FLORIDA

STANDARD DRAWING
WATER AND SEWER SEPARATION
2.09
1/1/00
1/1/00



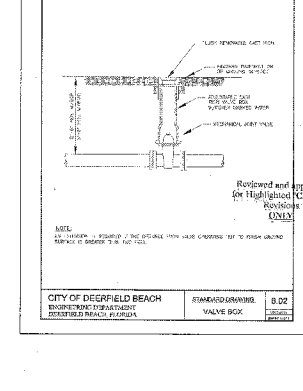
CITY OF DEERFIELD BEACH
ENGINEERING DEPARTMENT
DEERFIELD BEACH, FLORIDA

STANDARD DRAWING
WATER AND SEWER SEPARATION
2.09
1/1/00
1/1/00



CITY OF DEERFIELD BEACH
ENGINEERING DEPARTMENT
DEERFIELD BEACH, FLORIDA

STANDARD DRAWING
WATER AND SEWER SEPARATION
2.09
1/1/00
1/1/00



CITY OF DEERFIELD BEACH
ENGINEERING DEPARTMENT
DEERFIELD BEACH, FLORIDA

STANDARD DRAWING
WATER AND SEWER SEPARATION
2.09
1/1/00
1/1/00

FILLING AND FLUSHING CONNECTION

MARTIN GROSS, P.E.
1310 NE 47 COURT
BAYLAND PARK, FLORIDA 33334
(954) 772-1366
FRAUGHT NO. 818-06

PERMIT ONLY

GARCIA STROMBERG
ARCHITECT
1111 N. W. 10th Ave., Suite 100
Fort Lauderdale, FL 33304
Phone: (954) 571-1111
Fax: (954) 571-1112
E-mail: gstromberg@earthlink.net
www.gstromberg.com

ISLAND BREEZE
at Deerfield Beach
1801 N.E. 2nd Street
Deerfield Beach, Broward County, Florida

DETAILS

C-4 of 4

$$+ \frac{1}{2} + \frac{1}{2} = 0$$

MASONRY

EXPANSION ANCHORS

POST-TENSIONED DECK

FORM 1042-E		10-09-06
1.	DEBT CONSIDERATION	10-11-07
9.	CONTRIBUTOR REGULARITY	04-10-08
4.		
6.		
7.		
8.		

P71 DESIGN OF THE POST TENSIONED DECK IS DELEGATED TO A SPECIALLY ENGINEER EXPERIENCED IN THE DESIGN OF POST-TENSIONED DECKS SIMILAR TO THIS SCOPE OF WORK. THE DESIGN SHALL BE LOCATED WITHIN THE DESIGN REPORT.

P72 POST-TENSIONED ENGINEER SHALL SUPPLY SHOP DRAWINGS INDICATING TENDON LAYOUT, TENDON PROFILES, BENDED TENDONS AND TENDON ELEVATION CALCULATIONS, FINISH FLOOR AND TENDON FORCES SHALL BE CLEARLY INDICATED ON THE PLANS.

P73 CALCULATIONS SHALL CLEARLY SHOW ALL SUPERIMPOSED LOADS, SYSTEM WEIGHT, COLUMN MOMENTS AND REACTIONS. SHEAR CALCULATIONS AND PLANS SHALL BEAR THE ENGINEER'S SEAL.

P74 SHOP DRAWINGS AND PRODUCT SUBMITTALS SHALL ALSO INCLUDE TYPE OF SHEATHING, STRESSING BLOCK DETAILS,

ISLAND POINT, LLC
 255 NE. Miami Blvd.
 Suite 300
 Miami, FL 33132

GARCIA STROMBERG
 ARCHITECTS

FRANK R. Garcia, FAIA, AIA/NCARB
 1100 NE 13th Ave., Suite 1000
 Miami, FL 33132

PHOTO: T. J. BARNES FOR ARCHITECTS

1100 NE 13th Ave., Suite 1000
 Miami, FL 33132
 Tel: 305/375-1300
 Fax: 305/375-1301
 E-mail: gsa@islandpoint.com

6/8"	2 3/4"
------	--------

3/4"	3 1/4"	8700	15500	10000	18500	3300
"	"	10610	14000	12300	14300	
1"	4 3/4"	13000	14200	14200	14300	
"	"	19000	12000	18500	12000	
1 1/2"	"	22000	12000	18500	12000	
2"	4"	18300	28100	17600	30600	430
"	"	22000	34000	28000	34000	
"	"	23000	34500	28500	34500	

STRUCTURAL STEEL

S1 GENERAL CONTRACTOR SHALL ENGAGE A CERTIFIED TESTING AGENCY TO PERFORM INDUSTRY STANDARD INSPECTIONS TO ENSURE CONFORMANCE WITH PLANS AND SPECIFICATIONS (IF PROVIDED). SUBMIT REPORTS TO ARCHITECT AND ENGINEER.

S2 STEEL WORK SHALL CONFORM TO THE ALSO "SPECIFICATIONS"

SLAB ON GRADE

53 5771 3/8/81

54 STRUCTURAL WF SHAPES SHALL BE TO ASTM A572 Fy=50KSI, UNLESS NOTED OTHERWISE. ALL OTHER SHAPES SHALL BE A36.
ALL STRUCTURAL STEEL SHALL BE DOMESTICALLY PRODUCED.

55 BRACE AND MAINTAIN ALL STEEL IN ALIGNMENT UNTIL OTHER PARTS OF CONSTRUCTION NECESSARY FOR PERMANENT SUPPORT ARE COMPLETED. CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING TEMPORARY SHORING AS REQUIRED FOR THE FRAME ERECT.

SS ALL WELDING

S6 ALL WELDING SHALL CONFORM TO THE REQUIREMENTS OF "THE
STANDARDS CODE FOR WELDING IN BUILDING CONSTRUCTION" OF
THE AMERICAN WELDING SOCIETY. WELDING ELECTRODES SHALL
BE E700K-LOW HYDROGEN FOR SHIELD AND METAL ARC
WELDING.

S7 GROUT FOR COLUMN BASE PLATES AND PRESET BEARING PLATES
SHALL BE NON-SHRINK, NON-METALLIC GROUT. (5000 PSI MIN)

S8 SUBMIT SHOP DRAWINGS INDICATING ALL SHOP AND ERECTION DETAILS.

CONCRETE AND REINFORCING

MEMBERS, C TOLERANCES

S9 ALL WELDED CORN. SHALL BE 1/4" FILLET ALL AROUND, UNO.
ALL BOLTED CORN. SHALL BE 3/4" x 3/8" BOLTS, UNO.

S10 STEEL PAN STAIRS SHALL BE DESIGNED BY THE FABRICATOR AND SHOWN AS SUCH. SHALL BE COINED AND SEALED BY ALL ENGINEER REGISTERED IN THE SAME STATE, AS PROJECT LOCATION. DESIGN FOR 100 PSF LIVE LOAD.

S11 ALL STEEL EXPOSED TO WEATHER SHALL HAVE ZINC RICH PRIMER

PRE-ENGINEERED METAL STUD TRUSSES

NOTE: SEE ROOF FRAMING PLAN AND ARCHITECTURAL DRAWINGS FOR EXTENT, LENGTH, PROFILES, AND SIZES OF METAL STUD TRUSSES.

ALL TRUSSES SHALL BE DESIGNED BY A QUALIFIED ENGINEER WITH

MST3 ALL TRUSSES

MS13 ALL TRUSSES SHALL BE TEMPORARY AND PERMANENTLY BRACED AS REQUIRED BY TRUSSES MFR.

MS14 MIN SIZE FOR ANY BRACE OR TRUSS MEMBER SHALL BE 3 5/8" - 18"

MS15 SHOP DRAWINGS, INCLUDING PLANS, DETAILS AND CALCULATIONS SHALL BE SUBMITTED TO A/E FOR REVIEW PRIOR TO FABRICATION. CALCULATIONS SHALL BE SIGNED & SEALED BY A PROFESSIONAL ENGINEER.

SHORING & RE-SHORING

SIFI PROVIDE SIGNED AND SEALED SHORING AND RE-SHORING SHOP DRAWINGS FOR THE PROJECT PRIOR TO STARTING

ARE TO SHOW

SH2. RESHORE DRAWINGS TO INCLUDE REQUIRED BREAK STRENGTHS FOR CONCRETE SLABS AND BEAMS FOR REMOVAL OF SHORES.

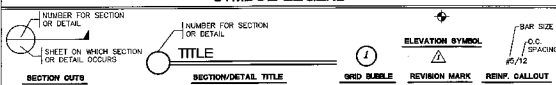
Downloaded from <http://ajph.org/> at University of California, San Diego on June 11, 2015

1. ELEVATION SYMBOL. 2. BAR SIZE. 3. O.C. SPACING.

1. 1. 2. 3. 4. 5. 6. 7. 8. 9. 10. 11. 12. 13. 14. 15. 16. 17. 18. 19. 20. 21. 22. 23. 24. 25. 26. 27. 28. 29. 30. 31. 32. 33. 34. 35. 36. 37. 38. 39. 40. 41. 42. 43. 44. 45. 46. 47. 48. 49. 50. 51. 52. 53. 54. 55. 56. 57. 58. 59. 60. 61. 62. 63. 64. 65. 66. 67. 68. 69. 70. 71. 72. 73. 74. 75. 76. 77. 78. 79. 80. 81. 82. 83. 84. 85. 86. 87. 88. 89. 90. 91. 92. 93. 94. 95. 96. 97. 98. 99. 100.

10

SYMBOL LEGEND



O.C.
SPACING
#5/12

Reviewed and approved
for Highlighted "Clouded"
Revisions

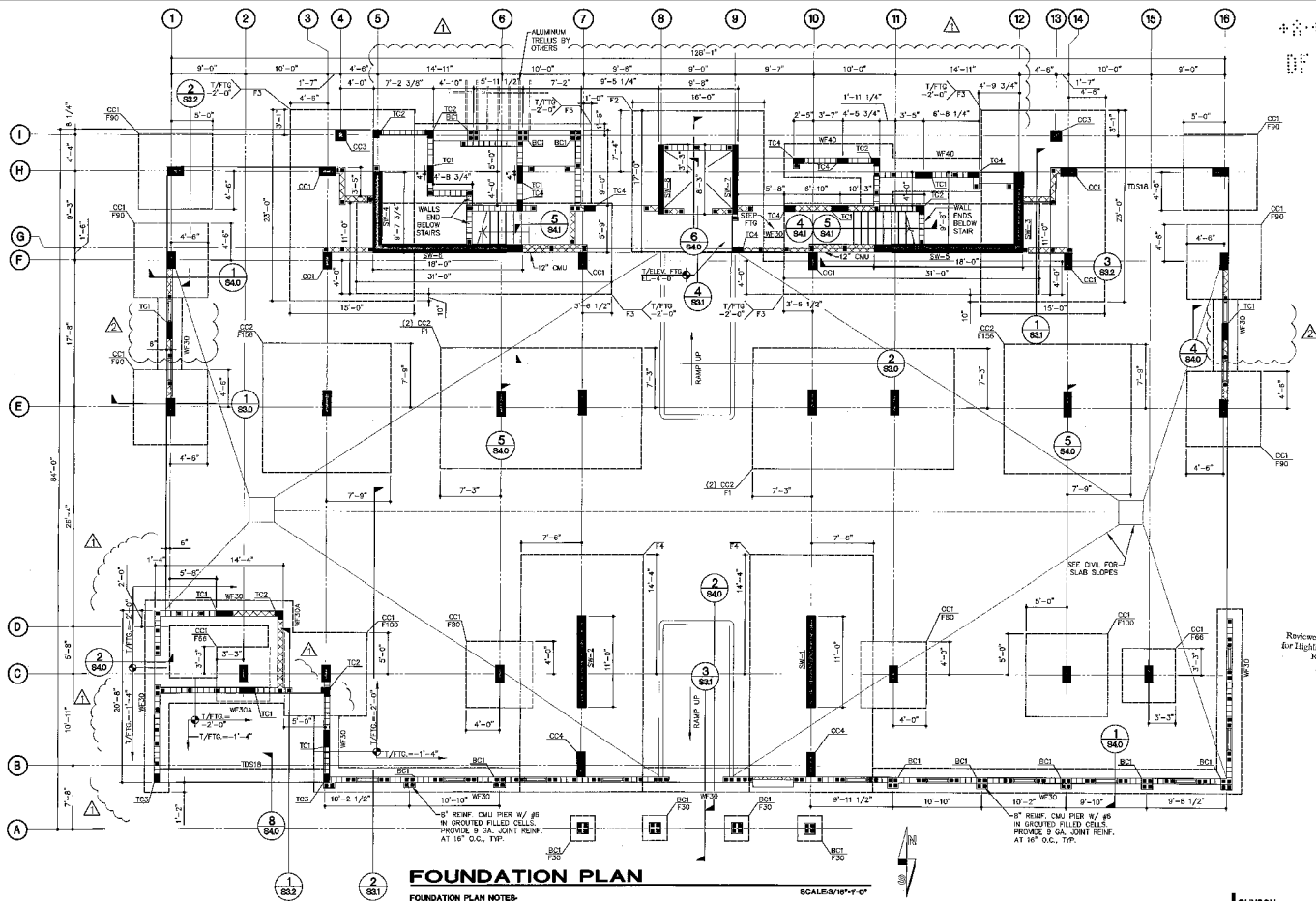
PERMIT ONLY

STRUCTURAL NOTES

[illegible]

S1.0

SENT DATE:
NUMBER 8, 2004



FOUNDATION PLAN

FOUNDATION PLAN NOTES:

- FLOOR SLAB SHALL BE 5" THICK CONCRETE REINFORCED WITH #4 @ 12" O.C. VAPOR BARRIER ON COMPACTED TYPIC TREATED SUBGRADE. (SEE SLAB ON GRADE DETAILS FOR PLACEMENT OF REINFORCEMENT) - SEE ARCHIT. FOR AREAS WITH SLAB VS. PAVERS.
- 1/2" SLAB EL. = +0'-0". (REFERENCE ONLY) SEE CIVIL FOR ACTUAL ELEVATION.
- 1/2" WALL FTD. EL. = -1'-4" TYP. UNO.
- 1/2" CONC. COL. FTD. = -2'-0" TYP. UNO.
- STEP FTD. WHERE SHOWN AND AS REQUIRED TO AVOID INTERFERENCE W/ OTHER TRACES. SEE STEPPED FOOTING SECTION C/24-5.
- ALL FTDs ARE CENTERED BENEATH BRG WALLS AND COLS. TYP. UNO.
- SEE SH1 SLD. FOR GENERAL NOTES.
- SIDEWALK SLAB = 4" CONCRETE SLAB ON COMPACTED FILL REINFORCED WITH #6 @ 18" O.C. W/ REIN. TYP.
- (2) #4 x 4'-0" LONG @ 3" C/C PLACED 2" CLEAR FROM CORNER CENTERED IN SLAB, TYP. AT RE-ENTRANT CORNERS.
- MASONRY WALLS.
- 1/2" CONC. TENDONS #5 IN GROUT FILLED CELLS AS SHOWN ON PLAN AT OPENINGS, CORNERS AND INTERSECTIONS.
- AT WINDOW SKL PROVIDE MIN. 6#S BOND BEAM OR CAST-IN-PLACE SKL.

**JOHNSON
STRUCTURAL
GROUP**

MARK JOHNSON, P.E. #51083
1000 East Hibiscus Blvd. Suite 201
Deerfield Beach, Florida 33441
(561) 884-0711 FAX (561) 884-5711
EMAIL: mark@johnsonstructural.com
www.johnsonstructural.com

DESIGNED BY: MARK JOHNSON, P.E.
CHECKED BY: MARK JOHNSON, P.E.
DATE: 08/11/2011

PERMIT ONLY

FOUNDATION PLAN

**ISLAND BREEZE
at Deerfield Beach**

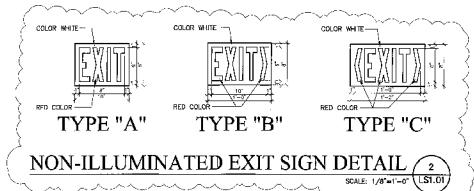
ISLAND BREEZE
at Deerfield Beach

**GARCIA STROMBERG
ARCHITECTS**

ARCHITECT

| NO. | REVISION | DATE |
|-----|-------------------|------------|
| 1 | ISSUED FOR PERMIT | 08/11/2011 |
| 2 | REVISION | |
| 3 | REVISION | |
| 4 | REVISION | |
| 5 | REVISION | |
| 6 | REVISION | |
| 7 | REVISION | |
| 8 | REVISION | |
| 9 | REVISION | |
| 10 | REVISION | |
| 11 | REVISION | |
| 12 | REVISION | |
| 13 | REVISION | |
| 14 | REVISION | |
| 15 | REVISION | |
| 16 | REVISION | |

\$2.0



1. FIRE PROTECTION GENERAL NOTES:

1.1. FIRE SPRINKLER BEING AS PER FCCSDA CHAPTER 18, SECTION 403.5 AND 13.1. 1-2

1.2. FIRE ALARM, FIRE DETECTION AND COMMUNICATION SYSTEM SHALL BE INSTALLED AS PER FCCSDA CHAPTER 18 AND NFPA 72-2004. 1-1

1.3. STANDBY POWER SUPPLY (EMERGENCY GENERATOR) SHALL CARRY OVER THE POWER FOR ALL FIRE ALARM AND DETECTION. 1-1

1.4. PROVIDE STENCH WITH 4" HOOD, LETTERING "A-250-H" ON BOTH SIDES OF ALL FIRE AND SMOKE BARRIERS ABOVE CEILING TO READ: FIRE/SMOKE BARRIER. 1-1

1.5. PROVIDE PROTECT ALL OPENINGS TO PREVENT THE PASSAGE OF SMOKE. 1-1

1.6. SEAL ALL OPENINGS AND PENETRATIONS TO RE-SEAL THE MIRATION OR PASSAGE OF SMOKE AND GASES. 1-1

1.7. SPECIFIC EXCEPTIONS TO THE LISTED RATINGS MAY BE PERMITTED WHERE INDICATED.

1.8. INTERIOR ASSEMBLY, MATERIALS, PROPERTIES AND THICKNESS REQUIRED, SHALL CONPLY WITH THOSE WHICH HAVE SUCCESSFULLY BEEN SUBMITTED UNDER THIS SYSTEM OF APPROVAL. (MODIFIED FROM ASTM E 84) OR BASED ON CALCULATIONS PERMITTED BY THE FIRE AND BUILDING OFFICIALS.

1.9. LIFE SAFETY DRAWINGS SHALL BE USED IN CONJUNCTION AND COORDINATED WITH THE ELECTRICAL AND MECHANICAL ELECTRICAL DRAWINGS BEING INCLUDED WITH THESE DRAWINGS OR SHOP DRAWINGS UNDER LEASE AGREEMENT.

1.10. PROVIDE MAINTENANCE OCCUPANCY NOTED.

2. FIRE RESISTANT MATERIALS:

2.1. ALL MOO COMPONENTS IN CONCRETE

2.1.1. SPACES SHALL BE FIRE RETARDANT

2.1.2. TREATED MOO IN ACCORDANCE TO FBC SECTION 602.1.

2.2. INTERIOR PARTITIONS SHALL BE MINIMUM CLASSIFICATION "T-1" WITH UNITS AND PARTITIONS TO BE CLASSIFIED AS PER COMMON AND PUBLIC SPACES, AS PER MOO AND MOO.

2.3. ALL INTERIOR PLASTIC BARS SHALL CONFORM WITH MOO 2004.15.

3. ROOF LOADINGS: VERIFY LOAD (INFLA, FLORIDA FIRE PREVENTION CODE).

4. DOORS SHALL BE ARRANGED TO BE OPENED BY A SINGLE PERSON WITHOUT THE USE OF A KEY, A TOOL, OR SPECIAL KNOWLEDGE. THE EFFECT FOR PREVENTION OF THE

[illegible]

EXTINGUISHING BATTERY LIGHT
EXT LIGHT WITH INDEPENDENT BATTERY UNIT
COMBINATION OF EXTINGUISHING BATTERY UNIT
WITH BATTERY LIGHT



FIRE EXTINGUISHERS

FIRE EXTINGUISHER CABINET WITH CLASS 2-A-10-BC
FIRE EXTINGUISHER (CLASS 2-A-10-BC) INDICATED OR
SPECIFIED. LOCATE SHOWN THAT ANY TRAVEL DISTANCE
TO THE CLOSEST UNIT DOES NOT EXCEED 75' UNLESS
OTHERWISE INDICATED.

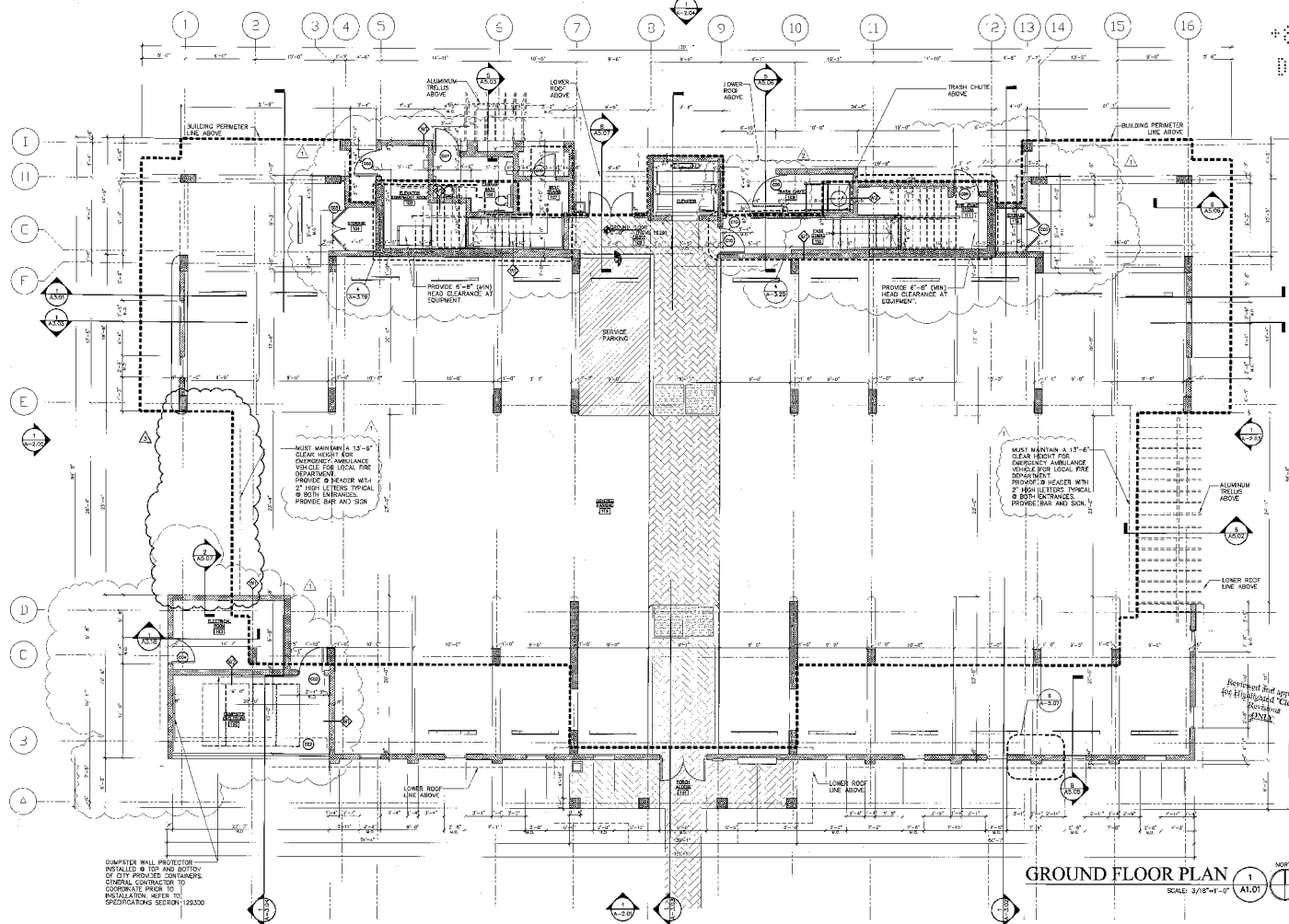
**FIRE ALARM & PROTECTION DEVICES (VERBALLY
LOCATIONS WITH ELECTRICAL DRAWINGS)**

FIRE ALARM PULL / STROBE
FIRE ALARM STROBE
FIRE ALARM PULL, STATION
FIRE EXTINGUISH-KNOX-300 (NONFIRM MANUFACTURE
REQUIREMENTS AND LOCATION, WITH LOCAL
JURISDICTION ORDER TO INSTALL)






LS-1.01
SHEET #
11-10-27 P. 2008
DRAWING TITLE
GROUND FLOOR L.S. PLAN



| | | | | | |
|---|--|--|--|--|--|
| GROUND FLOOR PLAN
PROJECT NO. 100-100-100-100
DATE 10/10/2020 | | ISLAND BREEZE
at Deerfield Beach
100 N.E. 2nd Street
Deerfield Beach, FL 33441 | | GROUND FLOOR PLAN
PROJECT NO. 100-100-100-100
DATE 10/10/2020 | |
| A-1.01
100 N.E. 2nd Street
Deerfield Beach, FL 33441
100 N.E. 2nd Street
Deerfield Beach, FL 33441 | | GROUND FLOOR PLAN
PROJECT NO. 100-100-100-100
DATE 10/10/2020 | | ISLAND BREEZE
at Deerfield Beach
100 N.E. 2nd Street
Deerfield Beach, FL 33441 | |
| GROUND FLOOR PLAN
PROJECT NO. 100-100-100-100
DATE 10/10/2020 | | ISLAND BREEZE
at Deerfield Beach
100 N.E. 2nd Street
Deerfield Beach, FL 33441 | | GROUND FLOOR PLAN
PROJECT NO. 100-100-100-100
DATE 10/10/2020 | |

| | | |
|-----|---------|---|
| 4.4 | 04-0003 | STONE VENEER CLADDING |
| 4.5 | 04-0004 | PERGOLA SYSTEM GLASSING |
| 4.7 | 04-0005 | CHU PRIVACY WALL SEE DETAIL A-0.02 FOR LOCATION AND SPEC. A-S-04 FOR DETAILS, REFER TO S-0200 MATR. FOR ALL STRUCTURAL DRAWINGS. |
| 4.8 | 04-0006 | "REGUS" STONE COLUMN OR WALL COPING. |
| 4.9 | 05-0000 | ALUMINUM RAILING |
| 5.0 | 05-0001 | DECORATIVE ALUMINUM LEAVES |
| 5.1 | 05-0002 | DECORATIVE ALUMINUM SHUTTER (OR ARCHITECT APPROVED PVC) |
| 5.2 | 05-0003 | SPECIALTY ENGINEERED ALUMINUM TRILITE. SUBMIT SHOP DRAWINGS FOR REVIEW BY FLORIDA P.E. |
| 5.3 | 05-0004 | SPECIALTY ENGINEERED ALUMINUM TRILITE. SUBMIT SHOP DRAWINGS FOR REVIEW. GL. TO PROVIDE WATER PROOFING AT ALL CONNECTIONS TO SLAB AND WALLS. |
| 6.2 | 06-0003 | 6" WIDE PVC TRIM BOARD (MANUFACTURED BY AZEK), P.F. PAINT, TON WOOD OUTDOORS. |
| 6.3 | 06-0004 | 6" X 10 PAINTED FASCIA BOARD. |

- | | | |
|-----|---------|---|
| 4.4 | 04-0003 | STONE VENEER CLADDING |
| 4.5 | 04-0004 | PERGOLA SYSTEM GLASSING |
| 4.7 | 04-0005 | CHU PRIVACY WALL SEE DETAIL A-0.02 FOR LOCATION AND SPEC. A-S-04 FOR DETAILS, REFER TO S-0200 MATR. FOR ALL STRUCTURAL DRAWINGS. |
| 4.8 | 04-0006 | "REGUS" STONE COLUMN OR WALL COPING. |
| 4.9 | 05-0000 | ALUMINUM RAILING |
| 5.0 | 05-0001 | DECORATIVE ALUMINUM LEAVES |
| 5.1 | 05-0002 | DECORATIVE ALUMINUM SHUTTER (OR ARCHITECT APPROVED PVC) |
| 5.2 | 05-0003 | SPECIALTY ENGINEERED ALUMINUM TRILITE. SUBMIT SHOP DRAWINGS FOR REVIEW BY FLORIDA P.E. |
| 5.3 | 05-0004 | SPECIALTY ENGINEERED ALUMINUM TRILITE. SUBMIT SHOP DRAWINGS FOR REVIEW. GL. TO PROVIDE WATER PROOFING AT ALL CONNECTIONS TO SLAB AND WALLS. |
| 6.2 | 06-0003 | 6" WIDE PVC TRIM BOARD (MANUFACTURED BY AZEK), P.F. PAINT, TON WOOD OUTDOORS. |
| 6.3 | 06-0004 | 6" X 10 PAINTED FASCIA BOARD. |

- | | | |
|-----|--------|--|
| J2 | 074113 | VELUX ROOF |
| J1 | 083013 | SCHEDULED GARAGE DOOR. |
| B1 | 092400 | 3/4" (19Y) UNITS LUXURED STUCCO (SELECTED BY ARCHITECT). |
| B2 | 092400 | 6" MOE TO 3/4" STUCCO (INT) APPLIED TO PLASTIC J-MOLD TO SCHEDULED SHOWS REFER TO DETAIL A-5.07 FOR TYPICAL APPLICATION. |
| B5 | 092400 | 8" HIDE-K-C PROTECTION PREFINISHED FORM BOARD (REFER TO DETAIL A-3.04 FOR FRAME DIMENSIONS). |
| B10 | 093000 | TIE SHOWN FOR ILLUSTRATIVE PURPOSES ONLY.
SELECTION AND COST TO BE DETERMINED BY DEVELOPER. GC TO PROVIDE \$35.00 PER LINEAL FOOT. |
| B18 | 00113 | EXTERIOR PAINT AND COLOR SELECTION BY ARCHITECT. GC TO PROVIDE COLOR SWATCHES ON BUILDING MATERIALS. PROVIDE SPECIFICATIONS FOR APPROVAL. |
| B19 | 092400 | STUCCO CONTROL JOINT. |
| B10 | 105900 | POSTAL MAIL BOXES. GENERAL CONTRACTOR TO COORDINATE REQUIREMENTS WITH LOCAL JURISDICTION AND SUBMIT FINAL PERMITS/NOTICE TO OPEN FOR ARCHITECT REVIEW. |

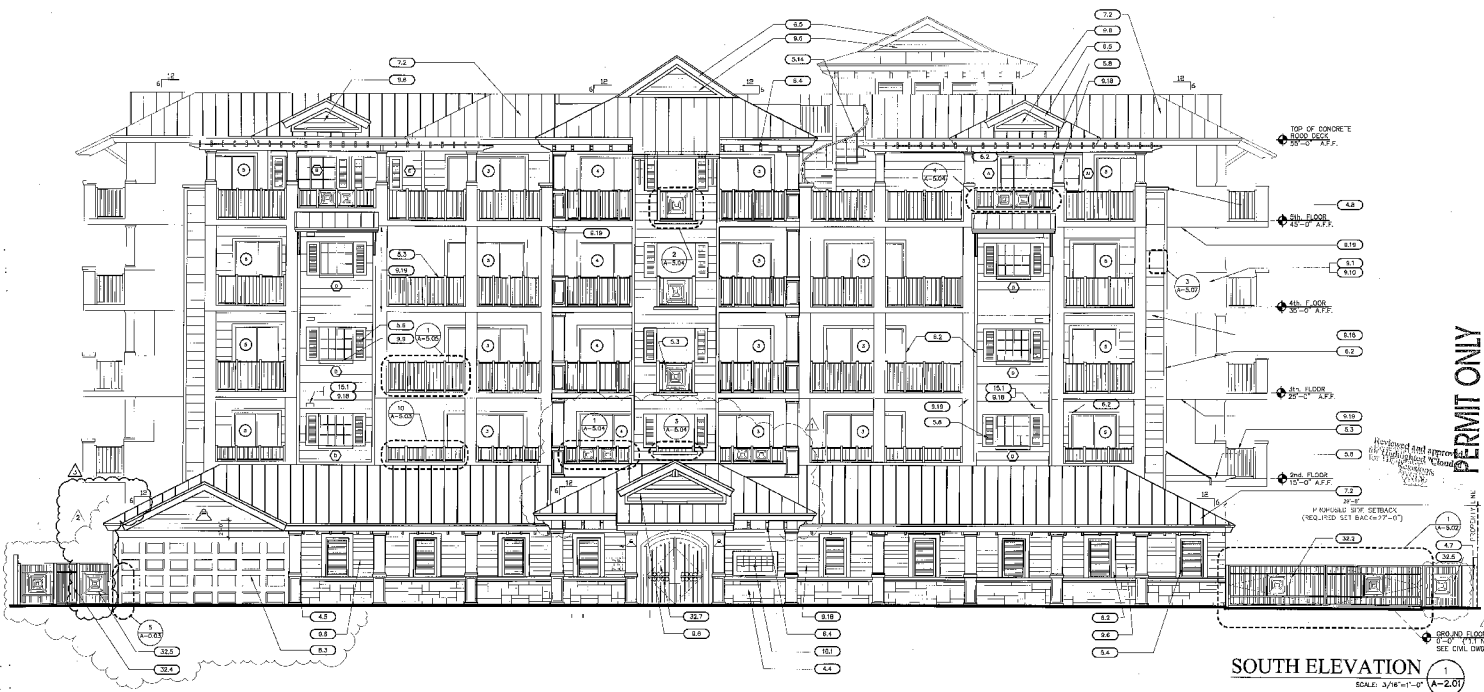
15.1 15000 BATHROOM EXHAUST VENT TO BE PAINTED TO MATCH WALL COLOR SELECTED BY ARCHITECT COORDINATE AND REVIEW NEW MECHANICAL DRAWINGS AND SPECIFICATION. (TYPICAL)

32.2 32319 PRIVACY PARKING GATE, REFER TO AND COORDINATE WITH DESIGNATED DETAIL.

32.4 32316 ALUMINUM PRIVACY FENCE (COORDINATE AREAS CONSISTING WITH RETAINING WALLS) (TOP OF FENCE @ 5'-0" ABOVE PROPOSED AND GRADIENT) COORDINATE WITH CIVIL DRAWING AND SHEET A-0.0

32.7 32318 ALUMINUM PRIVACY BUILDING ENTRY GATE, REFER TO AND COORDINATE WITH SHEET A-0.2 (NORTH SIDE GATE) TO COMPLY WITH POOL REQUIREMENTS.

32.8 32318 1'-0" H-G ALUMINUM PRIVACY GATE, REFER TO AND COORDINATE WITH SHEET A-0.0.



SOUTH ELEVATION

SCALE: 3/16"=1'-0" (A-2.0)

PERMIT ONLY

NOTES AND CORRECTIONS 239

A-2.01

ISLAND BREEZE
at Deerfield Beach

GARCIA STROMBERG

ERG

1

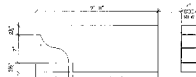
[illegible]

| | | |
|------------------------------------|------------|------------|
| FORM 1041-100 | 0000000000 | 0000000000 |
| OFFICE OF THE SECRETARY OF DEFENSE | 0000000000 | 0000000000 |
| 2. CITY COMMENT | 0000000000 | 0000000000 |
| 3. VALUE ENGINEERING | 0000000000 | 0000000000 |

- APR 16 2 1978
© GARCIA STEINBERG

A-2.02

A-2.02



BALCONY OUTRIGGER DTL. 2
N.T.S. A-2.02

WEST ELEVATION

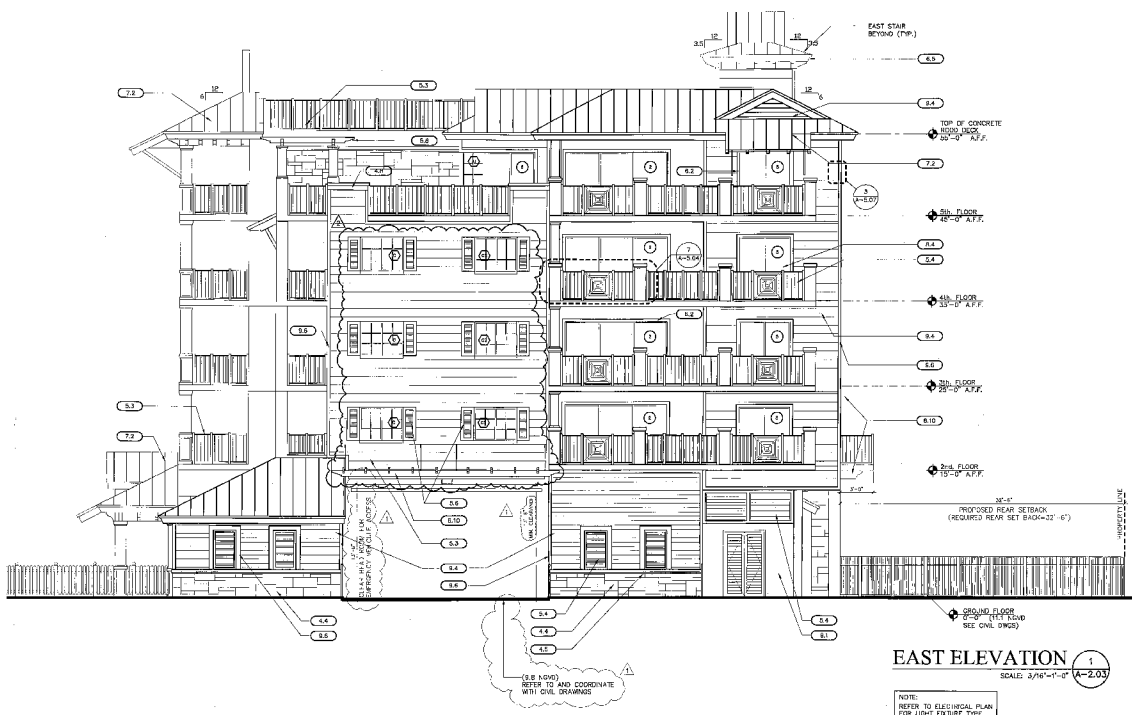
SCALE: 3/16"=1'-0" A-2.0

NOTE:
REFER TO ELECTRICAL PLAN
FOR LIGHT FIXTURE TYPE.

* * *
 * *Project's Completed 2006-2010 - Island Road/Driving9C/DAVE revised: p.c.m.; set 3.31.09/2003/6-01/2012.dwg, A-2.02 (W18 F 23.2 V 11.0 N), 4-17/2006 F 18-16-59 AM, 1/24/2010, 1-1*

DRAWING AND SPECIFICATION REFERENCE NOTES

- 4.4 044200 STONE VENEER CLADDING.
- 4.5 044800 PRECAST STONE TRIM.
- 4.6 042000 PRECAST STONE COLUMN OR WALL COPING.
- 5.2 007300 ALUMINUM BALLO.
- 5.4 057000 DECORATIVE ALUMINUM LOUVER.
- 5.6 009000 APPROVED PVC.
- 5.8 057000 SPECIALTY ENGINEERED ALUMINUM TRIFLUE. SUBMIT SHOP DRAWINGS FOR REVIEW BY FLORIDA P.E.
- 6.2 054003 6" WIDE PVC TRIM BOARD (MANUFACTURED BY AZEK).
- 6.4 054003 7" X 10" PAINTED FASDA BOARD.
- 6.10 054012 7" X 8" PAINTED WOOD RAFTER REFER TO AND COORDINATE WITH STRUCTURAL DRAWINGS.
- 7.2 074013 METAL ROOF.
- 8.4 082813 SHIPBOULED UPJOIST TEXTURED STUCCO (SELECTED BY ARCHITECT).
- 8.4 082400 3/4" (DRY) LIGHT TEXTURED STUCCO (SELECTED BY ARCHITECT).
- 8.4 092400 1/2" WIDE X 3/4" STUCCO (DRY) APPLIED TO PLASTER. J-MOULD TO SIMULATE BEING REFER TO DETAIL A-5.07.
- 8.6 092400 1/2" WIDE X 3/4" STUCCO (DRY) APPLIED TO PLASTER. J-MOULD TO SIMULATE BEING REFER TO DETAIL A-5.07 FOR TYPICAL APPLICATION.



EAST ELEVATION

SCALE: 3/16"=1'-0" A-2.03

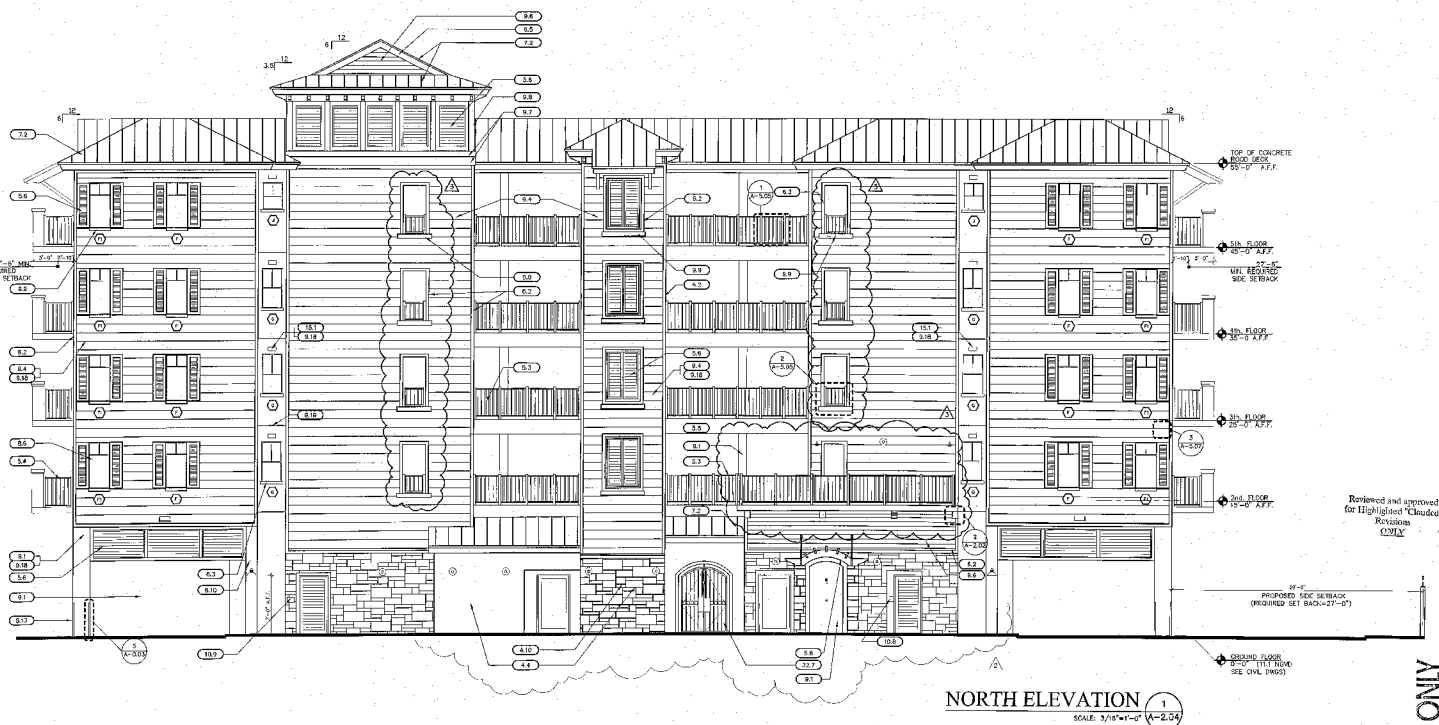
NOTE:
REFER TO ELECTRICAL PLAN
FOR LIGHT FIXTURE TYPE.

PERMIT ONLY

| | |
|---|--|
| GARCIA STROMBERG
ARCHITECT
1001 N.E. 2nd Street
Suite 100
Fort Lauderdale, FL 33304
Phone: (954) 571-1111
Fax: (954) 571-1112
Email: gstromberg@earthlink.net | |
| ISLAND BREEZE
at Deerfield Beach
1001 N.E. 2nd Street
Fort Lauderdale, FL 33304 | |
| PROJECT NO. 1001 N.E. 2nd Street
SHEET NO. A-2.03
DATE: 08/18/2004 | DRAWN BY: [Signature]
CHECKED BY: [Signature]
APPROVED BY: [Signature] |

[illegible]

| | | |
|------|--------|--|
| 10.8 | 101450 | PRIVATE MEET ROOM SIGNALS TO COMPLY WITH FADA REQUIREMENTS (G.C. TO PROVIDE ALLOWANCES OF \$50.00 PER SKIN MATERIAL, ONLY). |
| 10.9 | 101400 | PROVIDE STORAGE FOR ALL STORAGE, EQUIPMENT, MECHANICAL, ELECTRICAL, AND TRASH ROOMS (G.S. TO PROVIDE ALLOWANCE OF \$50.00 PER SKIN MATERIAL, ONLY). |
| 16.1 | 13000 | BATHROOM CEILING WENT TO BE PAINTED TO MATCH WALL COLOR SELECTED BY ARCHITECT. COORDINATE AND REVIEW WITH MECHANICAL DRAWINGS AND SPECIFICATION. [TYPICAL] |
| 32.7 | 323119 | ALIGNED PRIVATE BUILDING ENTRY GATE, REFER TO AND COORDINATE WITH ARCHITECT (WITH SITE DATA TO COMPLY WITH POOL REQUIREMENTS). |



Reviewed and approved
for Highlighted/Clouded
Revisions
ONLY

NORTH ELEVATION

NOTE:
REFER TO ELECTRICAL PLAN
FOR LIGHT FIXTURE TYPE

PERMIT ONLY

NORTH ELEVATION

20'0" = 1" (1/8" = 1')

ISLAND BREEZE
at Deerfield Beach

1331 N.E. 2nd Street
Deerfield Beach, Broward County, Florida

PREPARED BY:
REDAKOWSKI LLC
 2500 N.E. 15th Ave.,
 Suite 500,
 Fort Lauderdale, FL 33304

DESIGNED BY:
GARCIA STROMBERG
 ARCHITECTURE
 1000 S.W. 10th Avenue
 Fort Lauderdale, FL 33304
 Phone: 305-461-1100
 Fax: 305-461-1101
 E-mail: gstromberg@gsa.com

DATE: 04/23/2002

PROJECT NO.: 02-0001

CLIENT: REDAKOWSKI LLC

LOCATION: 1331 N.E. 2nd Street, Deerfield Beach, Broward County, Florida

DESCRIPTION: 1331 N.E. 2nd Street, Deerfield Beach, Broward County, Florida

SCALE: 1/8" = 1'

DATE: 04/23/2002

BY: [Signature]

| | | |
|------|---------|--|
| 5.2 | 0391218 | LIGHT WEIGHT INSULATION CONCRETE "TOPPING" |
| | | REFER TO AND COORDINATE WITH STRUCTURE |
| 5.2 | 0336000 | FLOOR SYSTEM STUDY DRAWING |
| | | POST TENSION SLAB SYSTEM. REFER TO AND |
| 4.4 | 0442000 | SPECIALTY ENGINEERS SHOP DRAWINGS |
| 5.1 | 0529000 | FROM SPECIALTY ENGINEERS |
| | | SPECIFICALLY ENGINEERED INFORMATION |
| | | METAL STUDS REFER TO AND COORDINATE WITH |
| | | STRUCTURAL DRAWINGS AND SHOP DRAWINGS |
| 5.2 | 0548000 | SCHEDULED METAL STUD PARTITION (REFER |
| | | TO PARTITION TYPES) |
| 5.1 | 0073000 | ALUMINUM SAILING |
| 5.2 | 0570000 | DECORATIVE ALUMINUM LOUVER |
| 5.1 | 0555000 | INTERIOR METAL STUD PARTITION |
| | | WITH 1/2" COREBOARD BOARD |
| 0.10 | 0840000 | EXTERIOR METAL FRAMED STUDS WITH STUCCO FINISH |
| | | OVER GALVANIZED RIBBED MISC LATH. |
| 5.1 | 081313 | 1/2"x3" x 3/8" METAL ACCESS PANEL |
| | | FOR SHOT STUD DRAWING |
| 0.03 | 0900000 | CONCRETE GUARD PIER TO LIE IN 5/8" x 0" |

| | | |
|------|---------|--|
| 5.2 | 0391218 | LIGHT WEIGHT VIBRATION CONCRETE "TOPPING" |
| | | REFER TO AND COORDINATE WITH STRUCTURE |
| 5.2 | 0336000 | FLOOR SYSTEM STUDY DRAWING |
| | | POST TENSION SLAB SYSTEM. REFER TO AND |
| | | SPECIALTY ENGINEERS SHOP DRAWINGS. |
| 4.4 | 0442000 | STONING |
| 5.1 | 0529000 | SPECIALTY ENGINEERS' INFORMATION |
| | | STONING. REFER TO AND COORDINATE WITH |
| | | STRUCTURAL DRAWINGS AND SHOP DRAWINGS. |
| 5.2 | 0548000 | SCHEDULED METAL STUD PARTITION (REFER |
| | | TO PARTITION TYPES) |
| 5.1 | 0573000 | ALUMINUM SAILING |
| 5.2 | 0570000 | DECORATIVE ALUMINUM LOUVER |
| 5.1 | 0555000 | INTERIOR METAL SLOTTED FRAMING |
| | | WITH 1/2" COPPER BOARDS. |
| 0.10 | 0840000 | EXTERIOR METAL FRAMED SLOTTED WITH STUCCO FINISH |
| | | OVER GALVANIZED RIBBED MILD LATH. |
| 5.1 | 081310 | 1/2"x4" x 3/8" METAL ACCESS PANEL |
| | | FOR SHOT SPOILING. |
| 0.03 | 0900000 | CONCRETE GUARD PIER TO LIE AT 5/8" - 0.00 |

7.1 021010 EXPOSED TYPICAL SPRAYED INSULATION AT
UNDERLIE OF WALK. MINIMUM 10-VALUE PER ENERGY
CALCULATIONS.

7.2 074113 METAL ROOF

7.3 074113 BUILD-UP ASPHALT ROOFING

8.0 083213 SCHEDULED INSULATED SLIDING GLASS DOOR

8.6 083113 SCHEDULED ALUMINUM FINISH WINDOW.

9.1 092400 3/4" (RT) JOINT TEXTURED STUCCO (SELECTED BY
ARCHT)

9.2 092400 8" WIDE SMOOTH STUCCO BAND.

9.3 092400 3/4" (RT) JOINT STUCCO STUCCO ON CARVISED
BASED LATH WITH CONTROL JOINT AS
DESIGNATED BY ARCHT. (STUCCO FINISH WOOD
SUBSTRATE AT WALKWAYS ROOFING AND GABLE END
COND. TRIMS).

9.4 092400 10" WIDE 3/4" STUCCO (RT) APPLIED TO
PLASTIC 1/2"X4" TO SIMULATE STUCCO REFER TO
DETAIL A-1057

4.18 095113 EXTERIOR BRICK AND CONCRETE SECTION 37 ARCHITECT
G.C. TO PROVIDE COLOR SWATCHES ON BUILDING

| | | |
|------|--------|---|
| 9.22 | 092400 | ST.-GCC VERTICAL CONTROL JOINT AT B-0" O.C. (MAX) |
| 9.23 | 093400 | ST.-GCC HORIZONTAL CONTROL JOINT AT MIDPOINT. |
| 9.24 | 093600 | ST.-GCC STAIR FLAT SELECTED BY ARCHITECT FOR THE
GCC TO PROVIDE ALLOWANCE OF \$500/SG.FT.
MATERIAL ONLY. |
| 9.31 | 105500 | POSTAL MAIL BOXES. GENERAL CONTRACTOR TO
COORDINATE REQUIREMENTS WITH LOCAL JURISDICTION
AND SUBMIT FINAL INFORMATION CUT SHEETS
FOR ARCHITECT REVIEW. |
| 11.1 | 112000 | KITCHEN, VANITY AND BAR CABINET SELECTED
BY DEVELOPER (COORDINATE WITH APPLIANCE,
DIMENSIONS AND SPECS) |
| | 113100 | ALL APPLIANCES SELECTED BY DEVELOPER,
COORDINATE PRODUCTION WITH ARCHITECT,
DRAWINGS AND WITH CUSTOM CABINETRY SHOP
(DRAINAGE) |
| 14.1 | 142100 | TO-EQUILED ELEVATOR REFER TO SPECIFICATION FOR |

32.1 321400 CONCRETE PAVEMENT SYSTEM PATTERN
COLOR AND SIZE SELECTED BY ARCHITECT.
32.7 323119 ALUMINUM PRIVACY BUILDING ENTRY GATE, REFER TO
AND COORDINATE WITH SHEET A-5.02 (NORTH SIDE

4-5-03
17:44

| | |
|--------------------|----------|
| NAME / TITLE | 11-00-00 |
| OFFICE COORDINATOR | 1/9/17 |
| VALUE CHANGING | 3/30/18 |

APR 16 2008
© Carol Stronberg

GARCIA STROMBERG
ARCHITECTURE

901 W. R. GARCIA, 12048
ART DIRECTOR/OWNER
ARCHITECT

901 W. R. GARCIA, 12048
president
ART DIRECTOR

Florida Highway, State 300, Boca Raton, FL 33407 TEL 954/965-5201 FAX 954/965-5202
Miami International Airport, 13800 NW 12th Ave, Suite 100, Miami, FL 33158 TEL 773/220-9807 AOL 3301375
Corporate Center 2770 NW 75th Ave, Fort Lauderdale, FL 33309

www.garciastromberg.com

ISLAND FOUNT, LLC.
275 N.E. Kiewit Blvd.,
Suite 303,
Boca Raton, FL 33432

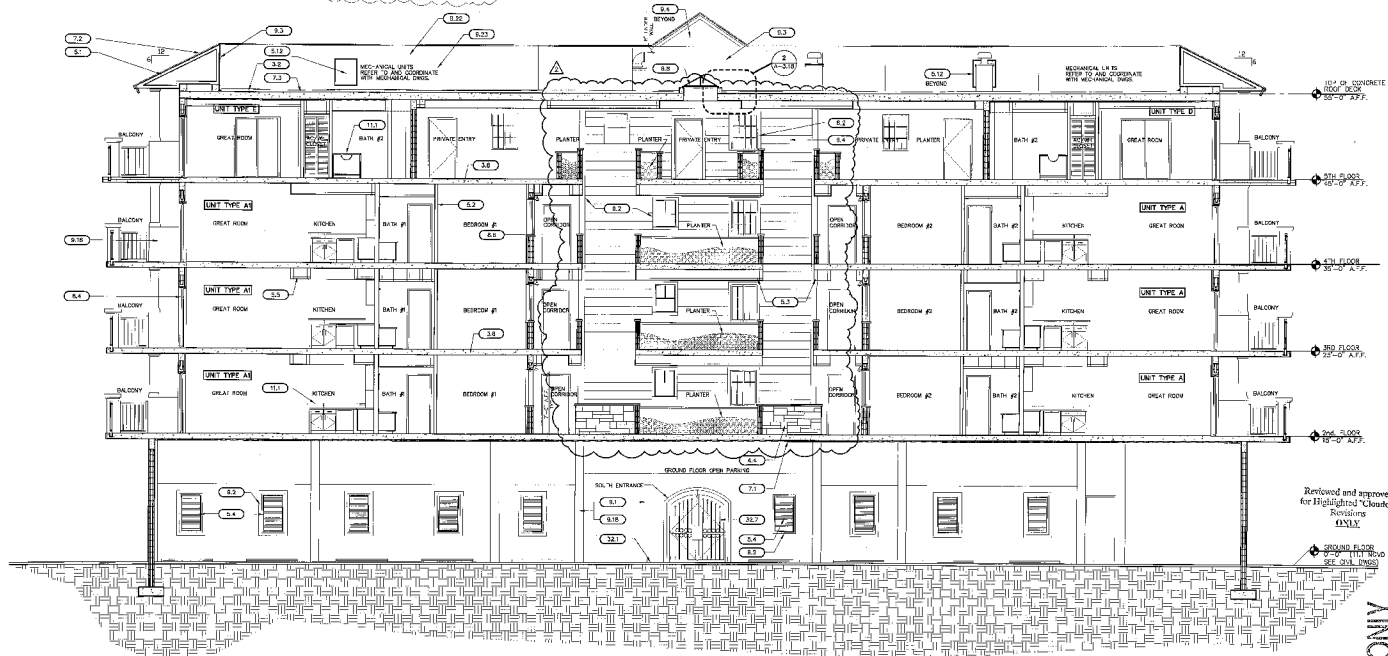
da

DAVID BREEZE
 10000 Merfield Beach
 10000 Merfield Beach, Broward County

ISL
at
1931
Deer

BUILDING SECTION

1511047
 APRIL 15, 2008
 A-3.05
 SHEET 26
 PROJECT 7 000000



Reviewed and approved
for Highlighted "Clouds"
Revisions
ONLY

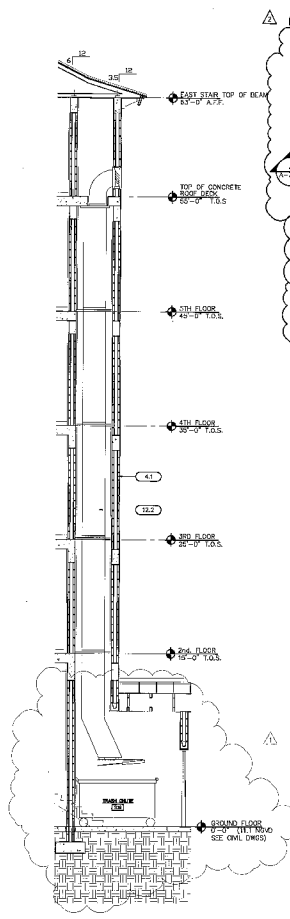
GROUND FLOOR
0-0 (11.1' ABOVE
SEE CIVIL (PAGES)

PERMIT ONLY

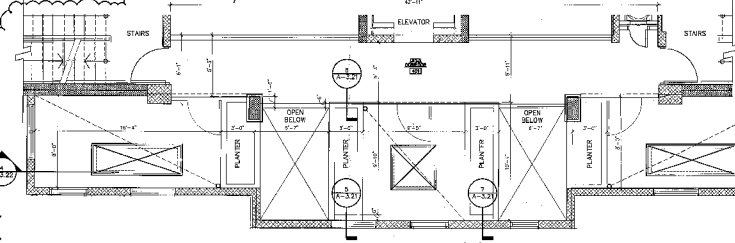
BUILDING SECTION 1

NOTE:
REFER TO ELECTRICAL PLAN
FOR LIGHT FIXTURES.

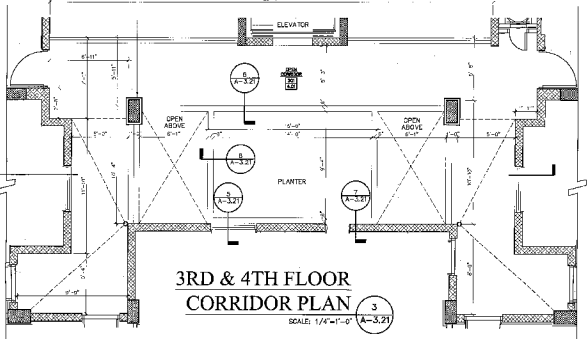
8109961/KF/Conf/06/2000/25646 - (Final Revised) Drawing/LSA/VG (revised permit no. 7.3.1) (R246) (646030) Aug. 31, 2004 SEC. 213.05, 4.16.20 PA, (g) (4) (a), 1.



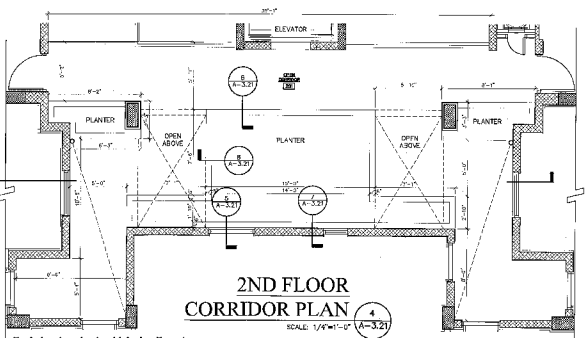
TRASH CHUTE SECTION
SCALE: 1/4"=1'-0" (A-3.21)



5TH FLOOR CORRIDOR PLAN
SCALE: 1/4"=1'-0" (A-3.21)

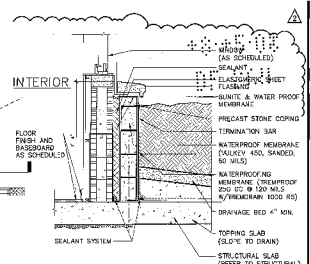


3RD & 4TH FLOOR CORRIDOR PLAN
SCALE: 1/4"=1'-0" (A-3.21)

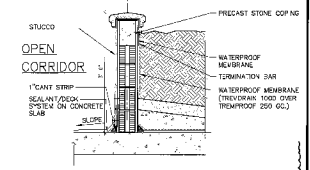


2ND FLOOR CORRIDOR PLAN
SCALE: 1/4"=1'-0" (A-3.21)

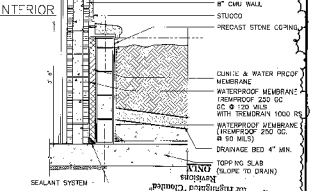
NOTES:
GENERAL CONTRACTOR TO
SUBMIT FOR ARCHITECT
REVIEW, SIGN, & SEAL
ENGINEERED SHOP DRAWINGS
FOR GATES, RAILING &
FENCES COORDINATE WITH
SPEC-HABER MANUAL



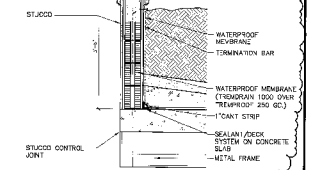
PLANTER DETAIL 5
SCALE: 1/4"=1'-0" (A-3.21)



PLANTER DETAIL 6
SCALE: 1/4"=1'-0" (A-3.21)



PLANTER DETAIL 7
SCALE: 1/4"=1'-0" (A-3.21)



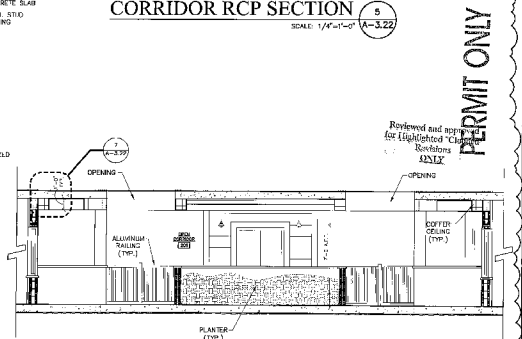
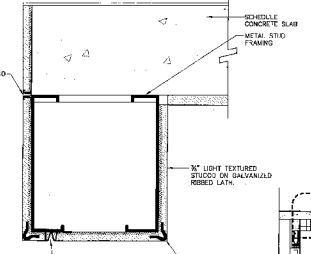
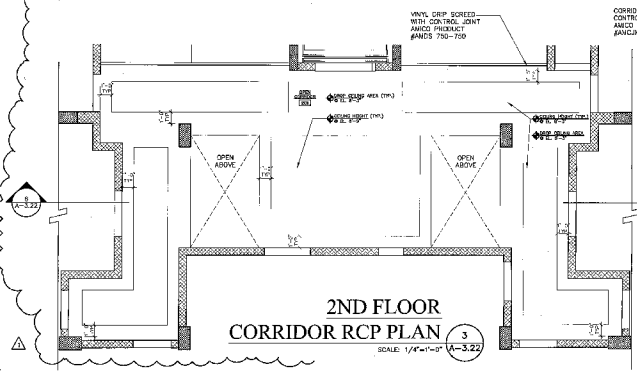
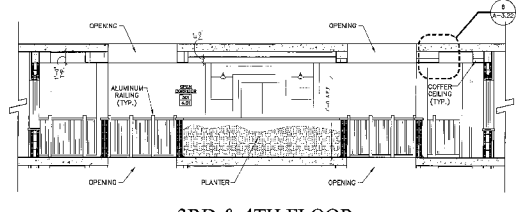
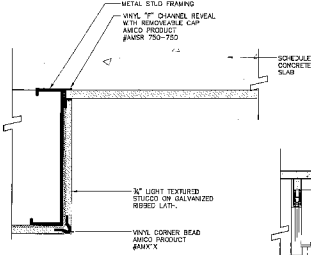
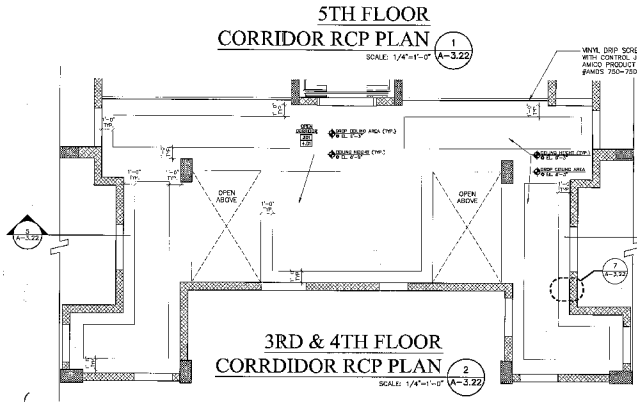
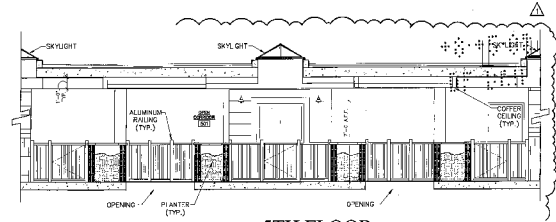
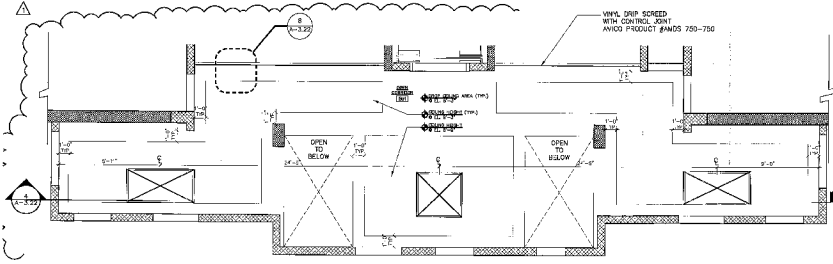
PLANTER DETAIL 8
SCALE: 1/4"=1'-0" (A-3.21)

PERMIT ONLY

GARCIA STROMBERG
ARCHITECTS
1225 N. MILITARY AVE.
SUITE 100
MIAMI, FL 33130
TEL: 305.375.1234
FAX: 305.375.1235
WWW.GARCIASTROMBERG.COM

ISLAND BREEZE
at Deerfield Beach
1531 NE 2nd Street
Deerfield Beach, Broward County, Florida

CORRIDOR PLANS SECTIONS AND DETAILS
A-3.21



NOTES:
GENERAL CONTRACTOR TO
SUBMIT FOR ARCHITECT
REVIEW SOME 3D FILES
ENGINEERED SHOP DRAWINGS
FOR GATES, RAILING,
SKYLIGHT & FENCES.
COORDINATE WITH
SPECIFICATION MANUAL.

PERMIT ONLY

GARCIA STROMBERG
ARCHITECTS
2224 E. 10th Ave.
Suite 100
Tulsa, OK 74104
Phone: (918) 438-1111
Fax: (918) 438-1112
www.garciastromberg.com

ISLAND BREEZE
at Deerfield Beach
FOOTING WALL AND STAIRS
PERMIT ONLY
FOR THE CITY OF DEERFIELD BEACH, FLORIDA

RCP PLANS AND SECTIONS
A-3.22

DATE: 11/11/2008
BY: J. L. BROWN
CHECKED: J. L. BROWN
APPROVED: J. L. BROWN

ARCHITECTURAL NOTES

1. SEE SHEET A-4.01 FOR ALL PENETRATIONS THROUGH ROOF.
2. SEE SHEET A-4.01 FOR ALL PARTITION TYPES.
3. ALL TERRACE BALCONIES OVER UNCLOSED SPACES SHALL BE WEATHERPROOFED.
4. CLOTHES CLOSET SHALL BE EQUIPPED WITH SHIRTS AND TIE SHELF (SEE DEVELOPER'S CONSTRUCTION AND MATERIALS SPECIFICATIONS).
5. KITCHEN PANTRY SHALL BE EQUIPPED WITH FIVE SHELVES GENERAL CONTRACTOR TO PROVIDE SHOP DRAWINGS FROM KITCHEN MANUFACTURER TO COMPLY WITH DEVELOPER STANDARDS.
6. EXCEPT WHERE NOTED OR WHERE CENTERED ON WALL, PROVIDE BULKING AT ALL WATER CLOSET, SHOWER, AND BATH TUBS FOR FLUENT DRAIN SHALL TO COMPLY WITH THE LATEST F.A.R. HOUSES.
7. RETURN TO SHEET A-4.01 FOR DRAWING ANNOTATION SYMBOLS.
8. LEGEND.
9. SHOWER AND BATHING CHAIRS SHALL BE LOCATED WITH A USABLE SHIP 14 INCHES MAXIMUM ABOVE THE FLOOR. BATHROOM MIRRORS SHALL BE LOCATED WITH THE BOTTOM EDGE OF THE REFLECTING SURFACE 36 INCHES MAXIMUM ABOVE THE FLOOR.
10. GLAZING AND MATERIALS SHALL BE SUBMITTED AND CONSTRUCTED TO WITHSTAND A LOAD OF 30 PSF APPLIED IN ANY DIRECTION AND A CONCENTRATED LOAD OF 300 PSF APPLIED AT ANY POINT IN ANY DIRECTION. CONCENTRATED LOAD SHALL BE SUBMITTED TO WITHSTAND A NON-DISTRIBUTED LOAD OF 100 PSF APPLIED VERTICALLY OVER THE TOP OF THE GLAZING. AND A 20 LB CONCENTRATED HORIZONTAL LOAD APPLIED ON A 10 FT AREA AT ANY POINT INCLUDING INTERMEDIATE HANDRAILS. EACH LOAD SHALL BE APPLIED TO PRODUCE MAXIMUM STRESS IN EACH OF THE RESPECTIVE COMPONENTS OF ANY OF THE SUPPORTING COMPONENTS.
11. DO NOT SCALE DRAWINGS TO OBTAIN DIMENSIONS. ANY DIMENSION NOT SHOWN OR MEASURED SHALL BE CONFIRMED WITH THE ARCHITECT PRIOR TO CONSTRUCTION.
12. ANY DIMENSIONS NOT SHOWN OR MEASURED SHALL BE CONFIRMED WITH THE ARCHITECT PRIOR TO CONSTRUCTION.
13. SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION PRIOR TO CONSTRUCTION.
14. THE CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH THE EXISTING CONDITIONS, SPECIFICATIONS AND CONTRACT SUPPLEMENTS BEFORE BEGINNING WORK. THE CONTRACTOR SHALL TAKE APPROPRIATE ACTION TO PROVIDE THE PROTECTION OF THE EXISTING PUBLIC AND PRIVATE ACCESS TO THE PROJECT SITE.
15. ALL CONCRETE FLOOR INCLUDING WOOD JOISTS FOR PRE-HUNG DOORS SHALL BE FIRE RATED.

1. ALL INTERIOR DOORS SHALL HAVE A MINIMUM RATING OF 20 MIN.
 2. ALL INTERIOR DOORS AND THRESHOLDS SHALL BE TEMPERED SAFETY GLASS WITH STAINLESS STEEL HANDRAILS.
 3. CONTRACTOR SHALL PROVIDE WOOD BALCONY AT INSIDE SIDE OF ALL GLASS SHOWER DOORS.
 4. RECOMMENDATION: ALUMINUM HANDRAIL WITH 3/8" DIA. ROPES SHALL BE USED FOR INTERIOR AND BULKHEAD ACCESS.
 5. SEE BUILDING PLANS FOR EXTERIOR WALLS, DOORS, AND WINDOWS.
- UNIT SOUND TRANSMISSION NOTES:**
1. ALL EXTERIOR WALLS AND FLOOR SYSTEMS SHALL CONFORM WITH FRC 120 FOR AIR-SOUND & STRUCTURE-BORNE SOUND.
 2. ALL EXTERIOR WALLS SHALL HAVE A MINIMUM RATING OF 50 STC.
 3. ALL EXTERIOR WALLS ADJACENT TO COMMON CORRIDORS SHALL HAVE A MINIMUM RATING OF 50 STC.
 4. ALL EXTERIOR WALLS ADJACENT TO COMMON CORRIDORS SHALL HAVE A MINIMUM RATING OF 50 STC.
 5. ALL EXTERIOR WALLS ADJACENT TO COMMON CORRIDORS SHALL HAVE A MINIMUM RATING OF 50 STC.
 6. ALL EXTERIOR WALLS ADJACENT TO COMMON CORRIDORS SHALL HAVE A MINIMUM RATING OF 50 STC.
 7. ALL EXTERIOR WALLS ADJACENT TO COMMON CORRIDORS SHALL HAVE A MINIMUM RATING OF 50 STC.
 8. ALL EXTERIOR WALLS ADJACENT TO COMMON CORRIDORS SHALL HAVE A MINIMUM RATING OF 50 STC.
 9. ALL EXTERIOR WALLS ADJACENT TO COMMON CORRIDORS SHALL HAVE A MINIMUM RATING OF 50 STC.
 10. ALL EXTERIOR WALLS ADJACENT TO COMMON CORRIDORS SHALL HAVE A MINIMUM RATING OF 50 STC.
 11. ALL EXTERIOR WALLS ADJACENT TO COMMON CORRIDORS SHALL HAVE A MINIMUM RATING OF 50 STC.
 12. ALL EXTERIOR WALLS ADJACENT TO COMMON CORRIDORS SHALL HAVE A MINIMUM RATING OF 50 STC.
 13. ALL EXTERIOR WALLS ADJACENT TO COMMON CORRIDORS SHALL HAVE A MINIMUM RATING OF 50 STC.
 14. ALL EXTERIOR WALLS ADJACENT TO COMMON CORRIDORS SHALL HAVE A MINIMUM RATING OF 50 STC.
 15. ALL EXTERIOR WALLS ADJACENT TO COMMON CORRIDORS SHALL HAVE A MINIMUM RATING OF 50 STC.
 16. ALL EXTERIOR WALLS ADJACENT TO COMMON CORRIDORS SHALL HAVE A MINIMUM RATING OF 50 STC.
 17. ALL EXTERIOR WALLS ADJACENT TO COMMON CORRIDORS SHALL HAVE A MINIMUM RATING OF 50 STC.
 18. ALL EXTERIOR WALLS ADJACENT TO COMMON CORRIDORS SHALL HAVE A MINIMUM RATING OF 50 STC.
 19. ALL EXTERIOR WALLS ADJACENT TO COMMON CORRIDORS SHALL HAVE A MINIMUM RATING OF 50 STC.
 20. ALL EXTERIOR WALLS ADJACENT TO COMMON CORRIDORS SHALL HAVE A MINIMUM RATING OF 50 STC.

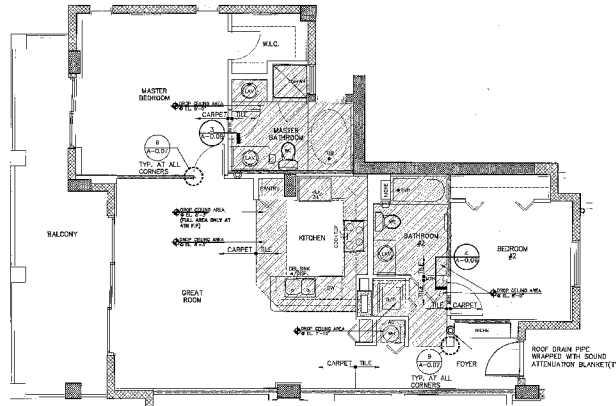
1. ALL INTERIOR FINISHES SHALL MEET INTERIOR FLAME SPREAD SET FORTH IN THE SPEC.
 2. ALL DROPPED CEILING AREA SHALL BE ADJUSTED IN FIELD TO BE AS HIGH AS POSSIBLE TO ACCOMMODATE ALL BRICK, CONDUITS, A/C DUCTS, ETC. HAVE BEEN INSTALLED. IN NO CASE SHALL ANY CEILING BE LESS THAN 7'-0" ABOVE FLOOR.
 3. FLOOR MEMBRANE SHALL BE PROTECTED FROM PEDESTRIAN OR VEHICULAR TRAFFIC AND PROPOSED EXPOSURE TO SUNLIGHT.
 4. ALL CEILING SHALL BE SUPPLY DRIERS SHALL BE VENTED 8" OFF ADJACENT WALLS TO ALLOW FOR INSTALLATION OF OTHER FINISHES.
 5. TOP OF ALL AIR SUPPLY AND RETURN REGISTERS TO BE ADJUSTED TO BE 8" OFF ADJACENT WALLS TO ALLOW FOR INSTALLATION OF OTHER FINISHES.
 6. SEE MECHANICAL DRAWINGS FOR A/C SUPPLY DRIER LOCATIONS.
 7. SEE MECHANICAL DRAWINGS FOR A/C SUPPLY DRIER LOCATIONS.
 8. SEE MECHANICAL DRAWINGS FOR A/C SUPPLY DRIER LOCATIONS.
 9. SEE MECHANICAL DRAWINGS FOR A/C SUPPLY DRIER LOCATIONS.
 10. SEE MECHANICAL DRAWINGS FOR A/C SUPPLY DRIER LOCATIONS.
 11. SEE MECHANICAL DRAWINGS FOR A/C SUPPLY DRIER LOCATIONS.
 12. SEE MECHANICAL DRAWINGS FOR A/C SUPPLY DRIER LOCATIONS.
 13. SEE MECHANICAL DRAWINGS FOR A/C SUPPLY DRIER LOCATIONS.
 14. SEE MECHANICAL DRAWINGS FOR A/C SUPPLY DRIER LOCATIONS.
 15. SEE MECHANICAL DRAWINGS FOR A/C SUPPLY DRIER LOCATIONS.
 16. SEE MECHANICAL DRAWINGS FOR A/C SUPPLY DRIER LOCATIONS.
 17. SEE MECHANICAL DRAWINGS FOR A/C SUPPLY DRIER LOCATIONS.
 18. SEE MECHANICAL DRAWINGS FOR A/C SUPPLY DRIER LOCATIONS.
 19. SEE MECHANICAL DRAWINGS FOR A/C SUPPLY DRIER LOCATIONS.
 20. SEE MECHANICAL DRAWINGS FOR A/C SUPPLY DRIER LOCATIONS.
- UNIT ELECTRICAL NOTES:**
1. ALL INTERIOR FINISHES SHALL MEET INTERIOR FLAME SPREAD SET FORTH IN THE SPEC.
 2. ALL DROPPED CEILING AREA SHALL BE ADJUSTED IN FIELD TO BE AS HIGH AS POSSIBLE TO ACCOMMODATE ALL BRICK, CONDUITS, A/C DUCTS, ETC. HAVE BEEN INSTALLED. IN NO CASE SHALL ANY CEILING BE LESS THAN 7'-0" ABOVE FLOOR.
 3. FLOOR MEMBRANE SHALL BE PROTECTED FROM PEDESTRIAN OR VEHICULAR TRAFFIC AND PROPOSED EXPOSURE TO SUNLIGHT.
 4. ALL CEILING SHALL BE SUPPLY DRIERS SHALL BE VENTED 8" OFF ADJACENT WALLS TO ALLOW FOR INSTALLATION OF OTHER FINISHES.
 5. TOP OF ALL AIR SUPPLY AND RETURN REGISTERS TO BE ADJUSTED TO BE 8" OFF ADJACENT WALLS TO ALLOW FOR INSTALLATION OF OTHER FINISHES.
 6. SEE MECHANICAL DRAWINGS FOR A/C SUPPLY DRIER LOCATIONS.
 7. SEE MECHANICAL DRAWINGS FOR A/C SUPPLY DRIER LOCATIONS.
 8. SEE MECHANICAL DRAWINGS FOR A/C SUPPLY DRIER LOCATIONS.
 9. SEE MECHANICAL DRAWINGS FOR A/C SUPPLY DRIER LOCATIONS.
 10. SEE MECHANICAL DRAWINGS FOR A/C SUPPLY DRIER LOCATIONS.
 11. SEE MECHANICAL DRAWINGS FOR A/C SUPPLY DRIER LOCATIONS.
 12. SEE MECHANICAL DRAWINGS FOR A/C SUPPLY DRIER LOCATIONS.
 13. SEE MECHANICAL DRAWINGS FOR A/C SUPPLY DRIER LOCATIONS.
 14. SEE MECHANICAL DRAWINGS FOR A/C SUPPLY DRIER LOCATIONS.
 15. SEE MECHANICAL DRAWINGS FOR A/C SUPPLY DRIER LOCATIONS.
 16. SEE MECHANICAL DRAWINGS FOR A/C SUPPLY DRIER LOCATIONS.
 17. SEE MECHANICAL DRAWINGS FOR A/C SUPPLY DRIER LOCATIONS.
 18. SEE MECHANICAL DRAWINGS FOR A/C SUPPLY DRIER LOCATIONS.
 19. SEE MECHANICAL DRAWINGS FOR A/C SUPPLY DRIER LOCATIONS.
 20. SEE MECHANICAL DRAWINGS FOR A/C SUPPLY DRIER LOCATIONS.
- UNIT FIRE PROTECTION NOTES:**
1. SEE FIRE PROTECTION DRAWINGS FOR ALL RELATED EQUIPMENT AND LOCATIONS.

LEGEND:

- 1. DROPPED CEILING AREAS
- 2. CMU BLOCK
- 3. CONCRETE COLUMNS OR SHEAR WALL. REFER TO AND COORDINATE WITH STRUCTURAL DRAWINGS.
- 4. DROPPED CEILING AREA AND HEIGHT
- 5. INDICATES FLOOR FINISH AND TRANSITION

ENLARGED PLAN - UNIT TYPE A

SCALE: 1/4"=1'-0" (A-4.01)



ENLARGED PLAN - UNIT TYPE A

SCALE: 1/4"=1'-0" (A-4.01)



PERMIT ONLY

ISLAND BREEZE
at Deerfield Beach
1901 N.E. 2nd Street
Deerfield Beach, Broward County, Florida

ENLARGED UNIT PLAN - A
2nd thru 4th floor plan
A-4.01
JUNE 15, 2007

GARCIA STROMBERG
ARCHITECTS

BLAND POINT, LLC

BLAND POINT, LLC
1901 N.E. 2nd Street
Deerfield Beach, Broward County, Florida

BLAND POINT, LLC
1901 N.E. 2nd Street
Deerfield Beach, Broward County, Florida

BLAND POINT, LLC

ARCHITECTURAL NOTES

1. SEE ALL NOTES TO ADD TO ALL PLAN, ELEVATION, SECTION, AND DETAIL.
2. THE UNIT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE FOLLOWING NOTES.
3. ALL FINISHES SHALL BE IN ACCORDANCE WITH THE FOLLOWING NOTES.
4. ALL ELECTRICAL AND MECHANICAL SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING NOTES.
5. ALL STRUCTURAL ELEMENTS SHALL BE IN ACCORDANCE WITH THE FOLLOWING NOTES.
6. ALL EXTERIOR FINISHES SHALL BE IN ACCORDANCE WITH THE FOLLOWING NOTES.
7. ALL INTERIOR FINISHES SHALL BE IN ACCORDANCE WITH THE FOLLOWING NOTES.
8. ALL FLOORING SHALL BE IN ACCORDANCE WITH THE FOLLOWING NOTES.
9. ALL WALLS SHALL BE IN ACCORDANCE WITH THE FOLLOWING NOTES.
10. ALL CEILING SHALL BE IN ACCORDANCE WITH THE FOLLOWING NOTES.
11. ALL DOORS SHALL BE IN ACCORDANCE WITH THE FOLLOWING NOTES.
12. ALL WINDOWS SHALL BE IN ACCORDANCE WITH THE FOLLOWING NOTES.
13. ALL CLOSETS SHALL BE IN ACCORDANCE WITH THE FOLLOWING NOTES.
14. ALL BATHROOMS SHALL BE IN ACCORDANCE WITH THE FOLLOWING NOTES.
15. ALL KITCHENS SHALL BE IN ACCORDANCE WITH THE FOLLOWING NOTES.
16. ALL GREAT ROOMS SHALL BE IN ACCORDANCE WITH THE FOLLOWING NOTES.
17. ALL BEDROOMS SHALL BE IN ACCORDANCE WITH THE FOLLOWING NOTES.
18. ALL MASTER BEDROOMS SHALL BE IN ACCORDANCE WITH THE FOLLOWING NOTES.
19. ALL BALCONIES SHALL BE IN ACCORDANCE WITH THE FOLLOWING NOTES.
20. ALL PORCHES SHALL BE IN ACCORDANCE WITH THE FOLLOWING NOTES.
21. ALL TERRACES SHALL BE IN ACCORDANCE WITH THE FOLLOWING NOTES.
22. ALL PATIOS SHALL BE IN ACCORDANCE WITH THE FOLLOWING NOTES.
23. ALL DRIVEWAYS SHALL BE IN ACCORDANCE WITH THE FOLLOWING NOTES.
24. ALL GARAGES SHALL BE IN ACCORDANCE WITH THE FOLLOWING NOTES.
25. ALL POOLS SHALL BE IN ACCORDANCE WITH THE FOLLOWING NOTES.
26. ALL SPAS SHALL BE IN ACCORDANCE WITH THE FOLLOWING NOTES.
27. ALL HOT TUBS SHALL BE IN ACCORDANCE WITH THE FOLLOWING NOTES.
28. ALL SAUNAS SHALL BE IN ACCORDANCE WITH THE FOLLOWING NOTES.
29. ALL GYMNASIUMS SHALL BE IN ACCORDANCE WITH THE FOLLOWING NOTES.
30. ALL THEATERS SHALL BE IN ACCORDANCE WITH THE FOLLOWING NOTES.
31. ALL CLUBS SHALL BE IN ACCORDANCE WITH THE FOLLOWING NOTES.
32. ALL RESTAURANTS SHALL BE IN ACCORDANCE WITH THE FOLLOWING NOTES.
33. ALL BARS SHALL BE IN ACCORDANCE WITH THE FOLLOWING NOTES.
34. ALL LOBBIES SHALL BE IN ACCORDANCE WITH THE FOLLOWING NOTES.
35. ALL CORRIDORS SHALL BE IN ACCORDANCE WITH THE FOLLOWING NOTES.
36. ALL STAIRWAYS SHALL BE IN ACCORDANCE WITH THE FOLLOWING NOTES.
37. ALL ELEVATORS SHALL BE IN ACCORDANCE WITH THE FOLLOWING NOTES.
38. ALL MECHANICAL ROOMS SHALL BE IN ACCORDANCE WITH THE FOLLOWING NOTES.
39. ALL ELECTRICAL ROOMS SHALL BE IN ACCORDANCE WITH THE FOLLOWING NOTES.
40. ALL WATER TREATMENT PLANTS SHALL BE IN ACCORDANCE WITH THE FOLLOWING NOTES.
41. ALL WASTE TREATMENT PLANTS SHALL BE IN ACCORDANCE WITH THE FOLLOWING NOTES.
42. ALL SEWAGE TREATMENT PLANTS SHALL BE IN ACCORDANCE WITH THE FOLLOWING NOTES.
43. ALL FLOOD CONTROL SYSTEMS SHALL BE IN ACCORDANCE WITH THE FOLLOWING NOTES.
44. ALL FIRE PROTECTION SYSTEMS SHALL BE IN ACCORDANCE WITH THE FOLLOWING NOTES.
45. ALL SECURITY SYSTEMS SHALL BE IN ACCORDANCE WITH THE FOLLOWING NOTES.
46. ALL COMMUNICATIONS SYSTEMS SHALL BE IN ACCORDANCE WITH THE FOLLOWING NOTES.
47. ALL DATA SYSTEMS SHALL BE IN ACCORDANCE WITH THE FOLLOWING NOTES.
48. ALL TELEVISION SYSTEMS SHALL BE IN ACCORDANCE WITH THE FOLLOWING NOTES.
49. ALL AUDIO SYSTEMS SHALL BE IN ACCORDANCE WITH THE FOLLOWING NOTES.
50. ALL VIDEO SYSTEMS SHALL BE IN ACCORDANCE WITH THE FOLLOWING NOTES.
51. ALL COMPUTER SYSTEMS SHALL BE IN ACCORDANCE WITH THE FOLLOWING NOTES.
52. ALL NETWORK SYSTEMS SHALL BE IN ACCORDANCE WITH THE FOLLOWING NOTES.
53. ALL INTERNET SYSTEMS SHALL BE IN ACCORDANCE WITH THE FOLLOWING NOTES.
54. ALL VOIP SYSTEMS SHALL BE IN ACCORDANCE WITH THE FOLLOWING NOTES.
55. ALL WIRELESS SYSTEMS SHALL BE IN ACCORDANCE WITH THE FOLLOWING NOTES.
56. ALL MOBILE SYSTEMS SHALL BE IN ACCORDANCE WITH THE FOLLOWING NOTES.
57. ALL PDA SYSTEMS SHALL BE IN ACCORDANCE WITH THE FOLLOWING NOTES.
58. ALL SMARTPHONE SYSTEMS SHALL BE IN ACCORDANCE WITH THE FOLLOWING NOTES.
59. ALL TABLET SYSTEMS SHALL BE IN ACCORDANCE WITH THE FOLLOWING NOTES.
60. ALL WEARABLE SYSTEMS SHALL BE IN ACCORDANCE WITH THE FOLLOWING NOTES.
61. ALL AUGMENTED REALITY SYSTEMS SHALL BE IN ACCORDANCE WITH THE FOLLOWING NOTES.
62. ALL VIRTUAL REALITY SYSTEMS SHALL BE IN ACCORDANCE WITH THE FOLLOWING NOTES.
63. ALL MIXED REALITY SYSTEMS SHALL BE IN ACCORDANCE WITH THE FOLLOWING NOTES.
64. ALL FULLY IMMERSIVE SYSTEMS SHALL BE IN ACCORDANCE WITH THE FOLLOWING NOTES.
65. ALL NON-IMMERSIVE SYSTEMS SHALL BE IN ACCORDANCE WITH THE FOLLOWING NOTES.
66. ALL SEMI-IMMERSIVE SYSTEMS SHALL BE IN ACCORDANCE WITH THE FOLLOWING NOTES.
67. ALL PARTIALLY IMMERSIVE SYSTEMS SHALL BE IN ACCORDANCE WITH THE FOLLOWING NOTES.
68. ALL NON-IMMERSIVE SYSTEMS SHALL BE IN ACCORDANCE WITH THE FOLLOWING NOTES.
69. ALL SEMI-IMMERSIVE SYSTEMS SHALL BE IN ACCORDANCE WITH THE FOLLOWING NOTES.
70. ALL PARTIALLY IMMERSIVE SYSTEMS SHALL BE IN ACCORDANCE WITH THE FOLLOWING NOTES.
71. ALL NON-IMMERSIVE SYSTEMS SHALL BE IN ACCORDANCE WITH THE FOLLOWING NOTES.
72. ALL SEMI-IMMERSIVE SYSTEMS SHALL BE IN ACCORDANCE WITH THE FOLLOWING NOTES.
73. ALL PARTIALLY IMMERSIVE SYSTEMS SHALL BE IN ACCORDANCE WITH THE FOLLOWING NOTES.
74. ALL NON-IMMERSIVE SYSTEMS SHALL BE IN ACCORDANCE WITH THE FOLLOWING NOTES.
75. ALL SEMI-IMMERSIVE SYSTEMS SHALL BE IN ACCORDANCE WITH THE FOLLOWING NOTES.
76. ALL PARTIALLY IMMERSIVE SYSTEMS SHALL BE IN ACCORDANCE WITH THE FOLLOWING NOTES.
77. ALL NON-IMMERSIVE SYSTEMS SHALL BE IN ACCORDANCE WITH THE FOLLOWING NOTES.
78. ALL SEMI-IMMERSIVE SYSTEMS SHALL BE IN ACCORDANCE WITH THE FOLLOWING NOTES.
79. ALL PARTIALLY IMMERSIVE SYSTEMS SHALL BE IN ACCORDANCE WITH THE FOLLOWING NOTES.
80. ALL NON-IMMERSIVE SYSTEMS SHALL BE IN ACCORDANCE WITH THE FOLLOWING NOTES.
81. ALL SEMI-IMMERSIVE SYSTEMS SHALL BE IN ACCORDANCE WITH THE FOLLOWING NOTES.
82. ALL PARTIALLY IMMERSIVE SYSTEMS SHALL BE IN ACCORDANCE WITH THE FOLLOWING NOTES.
83. ALL NON-IMMERSIVE SYSTEMS SHALL BE IN ACCORDANCE WITH THE FOLLOWING NOTES.
84. ALL SEMI-IMMERSIVE SYSTEMS SHALL BE IN ACCORDANCE WITH THE FOLLOWING NOTES.
85. ALL PARTIALLY IMMERSIVE SYSTEMS SHALL BE IN ACCORDANCE WITH THE FOLLOWING NOTES.
86. ALL NON-IMMERSIVE SYSTEMS SHALL BE IN ACCORDANCE WITH THE FOLLOWING NOTES.
87. ALL SEMI-IMMERSIVE SYSTEMS SHALL BE IN ACCORDANCE WITH THE FOLLOWING NOTES.
88. ALL PARTIALLY IMMERSIVE SYSTEMS SHALL BE IN ACCORDANCE WITH THE FOLLOWING NOTES.
89. ALL NON-IMMERSIVE SYSTEMS SHALL BE IN ACCORDANCE WITH THE FOLLOWING NOTES.
90. ALL SEMI-IMMERSIVE SYSTEMS SHALL BE IN ACCORDANCE WITH THE FOLLOWING NOTES.
91. ALL PARTIALLY IMMERSIVE SYSTEMS SHALL BE IN ACCORDANCE WITH THE FOLLOWING NOTES.
92. ALL NON-IMMERSIVE SYSTEMS SHALL BE IN ACCORDANCE WITH THE FOLLOWING NOTES.
93. ALL SEMI-IMMERSIVE SYSTEMS SHALL BE IN ACCORDANCE WITH THE FOLLOWING NOTES.
94. ALL PARTIALLY IMMERSIVE SYSTEMS SHALL BE IN ACCORDANCE WITH THE FOLLOWING NOTES.
95. ALL NON-IMMERSIVE SYSTEMS SHALL BE IN ACCORDANCE WITH THE FOLLOWING NOTES.
96. ALL SEMI-IMMERSIVE SYSTEMS SHALL BE IN ACCORDANCE WITH THE FOLLOWING NOTES.
97. ALL PARTIALLY IMMERSIVE SYSTEMS SHALL BE IN ACCORDANCE WITH THE FOLLOWING NOTES.
98. ALL NON-IMMERSIVE SYSTEMS SHALL BE IN ACCORDANCE WITH THE FOLLOWING NOTES.
99. ALL SEMI-IMMERSIVE SYSTEMS SHALL BE IN ACCORDANCE WITH THE FOLLOWING NOTES.
100. ALL PARTIALLY IMMERSIVE SYSTEMS SHALL BE IN ACCORDANCE WITH THE FOLLOWING NOTES.

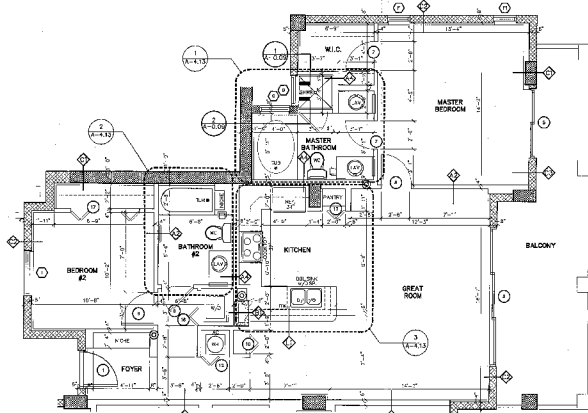
GARCIA STROMBERG
ARCHITECTURAL

ISLAND BREEZE
ARCHITECTURAL

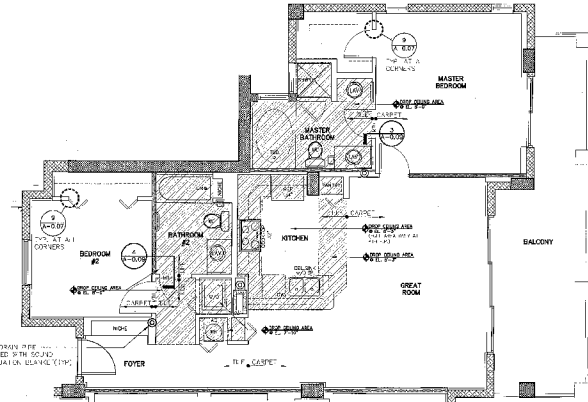
ISLAND BREEZE
ARCHITECTURAL
1981 NE 2nd Street
Deerfield Beach, Florida 33442

ISLAND BREEZE
ARCHITECTURAL
1981 NE 2nd Street
Deerfield Beach, Florida 33442

PERMIT ONLY



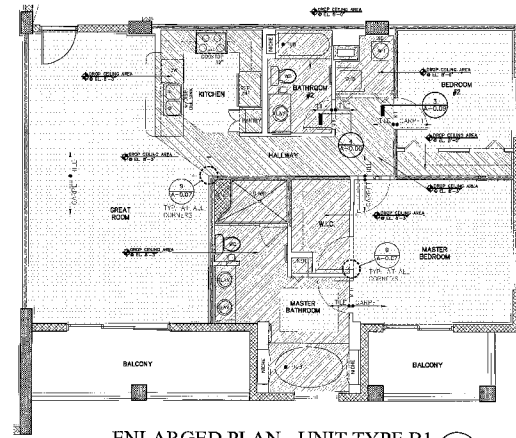
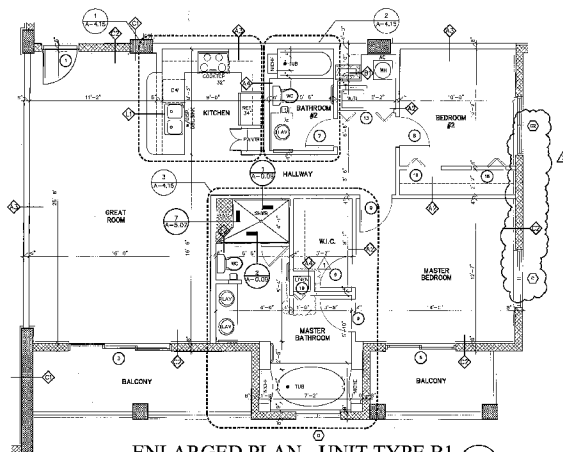
ENLARGED PLAN - UNIT TYPE A1
SCALE: 1/4"=1'-0" A-4.02



ENLARGED PLAN - UNIT TYPE A1
SCALE: 1/4"=1'-0" A-4.02



PERMIT ONLY



ARCHITECTURAL NOTES

[illegible][illegible][illegible]

| | | | |
|---------------------|--|---------|--|
| PROJECT TITLE | | DATE | |
| 1. PROJECT LOCATION | | 1/10/00 | |
| 2. OWNER | | 2/2/00 | |
| 3. TITLE DRAWING | | | |
| 4. SCALE | | | |
| 5. SHEET NO. | | | |
| 6. TOTAL SHEETS | | | |

1. PROJECT LOCATION
 2. OWNER
 3. TITLE DRAWING
 4. SCALE
 5. SHEET NO.
 6. TOTAL SHEETS

1. PROJECT LOCATION
 2. OWNER
 3. TITLE DRAWING
 4. SCALE
 5. SHEET NO.
 6. TOTAL SHEETS

1. PROJECT LOCATION
 2. OWNER
 3. TITLE DRAWING
 4. SCALE
 5. SHEET NO.
 6. TOTAL SHEETS

1. PROJECT LOCATION
 2. OWNER
 3. TITLE DRAWING
 4. SCALE
 5. SHEET NO.
 6. TOTAL SHEETS

1. PROJECT LOCATION
 2. OWNER
 3. TITLE DRAWING
 4. SCALE
 5. SHEET NO.
 6. TOTAL SHEETS

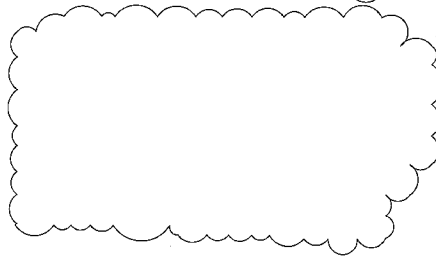
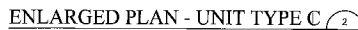
1. PROJECT LOCATION
 2. OWNER
 3. TITLE DRAWING
 4. SCALE
 5. SHEET NO.
 6. TOTAL SHEETS

1. PROJECT LOCATION
 2. OWNER
 3. TITLE DRAWING
 4. SCALE
 5. SHEET NO.
 6. TOTAL SHEETS

1. PROJECT LOCATION
 2. OWNER
 3. TITLE DRAWING
 4. SCALE
 5. SHEET NO.
 6. TOTAL SHEETS

ISLAND POINT, LLC,
225 N.E. Mizner Blvd.,
Suite 290,
Boca Raton, FL 33432

[illegible]

[illegible]

PERMIT ONLY

A-4.05



ISLAND BREEZE
at Deerfield Beach

1397 NE 2nd Street
Deerfield Beach, Broward County, Florida

397-100

OFF 1 & 100

© 2000

ENLARGED UNIT PLAN - E
5th FLOOR PLAN

1397 NE 2nd Street
Deerfield Beach, Broward County, Florida

A-4.07

1397 NE 2nd Street
Deerfield Beach, Broward County, Florida

ISLAND BREEZE
at Deerfield Beach

397-100

OFF 1 & 100

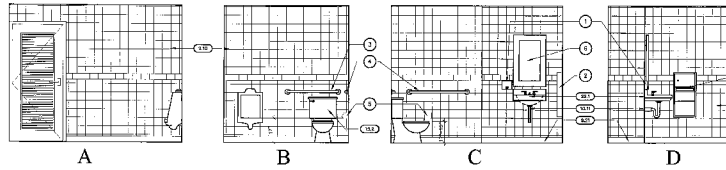
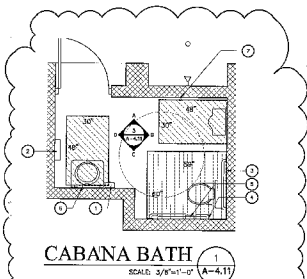
© 2000

ENLARGED UNIT PLAN - E
5th FLOOR PLAN

1397 NE 2nd Street
Deerfield Beach, Broward County, Florida

A-4.07

1397 NE 2nd Street
Deerfield Beach, Broward County, Florida



NOTES:
REFER TO SHEET A-4.04 FOR ADDITIONAL
FIN. & J.O.B. REQUIREMENTS.

ACCESSIBLE SIGNAGE TEXT REQUIREMENTS

CHARACTER PROPORTIONS.
LETTERS AND NUMBERS ON SIGNS SHALL HAVE A MIN. TO HEIGHT RATIO BETWEEN 1:5 AND 1:10.
THE SIGNS AN UPPER CASE "X" FOR ALPHABETIC.

CHARACTER HEIGHT.
THE LETTER AND NUMBER HEIGHT SHALL BE 5/8" HIGH MINIMUM FOR BUILDING IDENTIFIERS.
EXCEPT CHARACTER HEIGHT SHALL BE 5/8" HIGH MINIMUM FOR BUILDING IDENTIFIERS.

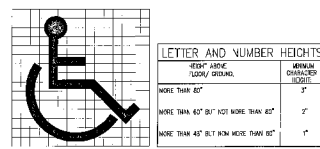
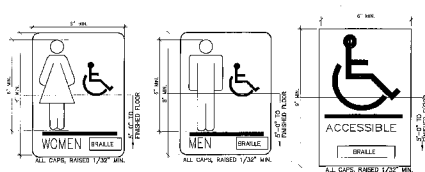
CHARACTER CONTRAST.
THE CHARACTERS, SYMBOLS AND BACKGROUND OF SIGNS SHALL BE CONTRAST. WHITE, OR OTHER
NON-GLARE FINISH. CHARACTERS AND SYMBOLS SHALL CONTRAST WITH THEIR BACKGROUND. WITH OTHER
LIGHT CHARACTERS ON A DARK BACKGROUND OR DARK CHARACTERS ON A LIGHT BACKGROUND.

RAISED CHARACTERS AND SYMBOLS.
CHARACTERS AND SYMBOLS ON TACTILE SIGNS SHALL BE RAISED 1/32" MINIMUM. RAISED CHARACTERS
AND SYMBOLS SHALL BE IN UPPERCASE CHARACTER. RAISED CHARACTERS AND SYMBOLS SHALL BE
5/8" HIGH MINIMUM AND 1/2" MINIMUM. RAISED CHARACTERS AND SYMBOLS SHALL BE ACCOMPANIED BY
BRILLE IN ACCORDANCE WITH A.E. PROVISIONS OUTLINED BELOW.

BRILLE.
SIGNS SHALL BE SPACED 1/2" MINIMUM FROM THE CORRESPONDING RAISED CHARACTERS OR
SYMBOLS. BRILLE PROVIDED IN ACCORDANCE WITH THE REQUIREMENTS FOR ELEVATION CONTROLS SHALL
BE PLACED 5/8" MINIMUM BELOW THE CORRESPONDING CHARACTERS OR SYMBOLS. BRILLE SHALL BE
5/8" HIGH MINIMUM AND 1/2" MINIMUM. RAISED CHARACTERS AND SYMBOLS SHALL BE ACCOMPANIED BY
BRILLE IN ACCORDANCE WITH A.E. PROVISIONS OUTLINED BELOW.

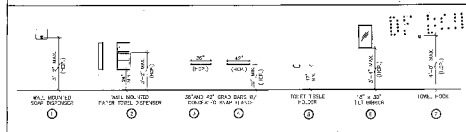
LOCATION OF TACTILE SIGNAGE.
TACTILE SIGNAGE SHALL BE LOCATED ALONGSIDE THE DOOR ON THE EACH SIDE AND SHALL BE
MOUNTED 48" ABOVE THE ADJACENT FINISHED FLOOR TO THE CENTERLINE OF THE SIGN. IN
LOCATIONS HAVING DOUBLE DOORS TACTILE SIGNS SHALL BE MOUNTED TO THE RIGHT OF THE RIGHT
HAND DOOR. WHEN THERE IS NO WALL SPACE ON THE LATCH SIDE OF THE DOOR INCLUDING DOUBLE
LEAF DOORS, SIGNS SHALL BE PLACED ON THE NEAREST ADJACENT WALL.

GENERAL NOTES.
ANY ADDITIONAL TEXT REQUIRED FOR TO LOCAL ORDINANCES (SUCH AS SIGNAGE IN ACCESSORY SPACE,
ETC.) SHALL COMPLY WITH THE SIGNAGE REQUIREMENTS ABOVE.



TEXT REQUIREMENTS
SCALE: NTS (A-3.01)

TYPICAL ACCESSORY DIAGRAM STANDARDS



RESTROOM ACCESSORY SCHEDULE

| SYMBOL | DESCRIPTION | MANUFACTURER | MODEL | QUANTITY |
|--------|--|----------------------------|----------|----------|
| 1 | WALL MOUNTED SOAP DISPENSER | AMERICAN SPECIALTIES, INC. | 2000 | |
| 2 | WALL MOUNTED TISSUE DISPENSER / WASTE RECEPTACLE | AMERICAN SPECIALTIES, INC. | 1000-10 | |
| 3 | 8" WIDE WALL MOUNTED SOAP FLANGE | AMERICAN SPECIALTIES, INC. | 2000-100 | |
| 4 | 4" WIDE WALL MOUNTED SOAP FLANGE | AMERICAN SPECIALTIES, INC. | 2000-100 | |
| 5 | TOILET PAPER HOLDER | AMERICAN SPECIALTIES, INC. | 2000-100 | |
| 6 | 8" WIDE WALL | AMERICAN SPECIALTIES, INC. | 2000-100 | |
| 7 | WALL MOUNTED | AMERICAN SPECIALTIES, INC. | 2000-100 | |

DRAWING AND SPECIFICATION REFERENCE NOTES

- A.1.0 033000 TILE SHOWN FOR ILLUSTRATIVE PURPOSES ONLY.
SELECTION AND LOCATION DETERMINED BY DEVELOPER.
C.C. TO PROVIDE \$3.50/SQ.FT. MATERIAL ONLY.
- B.2.1 033000 CONVE. TILE BASE SELECTED BY ARCHITECT.
- 10.1.1 102600 LAVATORY PIPE GUARD MANUFACTURED: TRUE BRO -
LAVASGUARD IS
SCHEDULED PLUMBING FIXTURE. REFER TO
AND CORRELATE WITH PLUMBING DRAWING
AND RELATED FIELD TRADES.

GARCIA STROMBERG
ARCHITECTURE

1001 N. 1st Street, Suite 100
Tampa, FL 33602
Phone: 813.241.1111
Fax: 813.241.1112
www.garciastromberg.com

ISLAND BREEZE
at Deerfield Beach

1831 N.E. 2nd Street
Deerfield Beach, Broward County, Florida

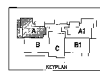
CABANA INTERIORS
ELEVATIONS

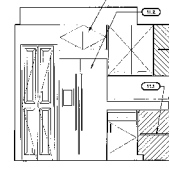
A-4.11

DATE: 11.11.2011

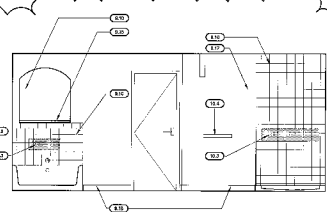
PERMIT ONLY

FILE NO. 65-5628
DATE 4/12/68
A-4.12
PAGE 14.07
APR 15 1968



[illegible]

ELEVATION 11
 SCA.E: 3/8"-1'-0" A-4.14



ELEVATION 15
SCALE: 3/8"=1'-0" A=4.14

PERMIT ONLY

| | | |
|----------------------------|---------|----------|
| BIOGRAPHICAL DATA | | 11-28-03 |
| NAME: J. J. JONES | | |
| 1. OFFICE: CHIEF OF POLICE | 1/22/07 | |
| 2. VALUE: \$100,000.00 | 2/2/03 | |
| 3. | | |
| 4. | | |
| 5. | | |
| 6. | | |
| 7. | | |

224

GARCIA STROMBERG
ARCHITECTED

Peter T. Stromberg,
President
10000 Wilshire Blvd., Suite 600
Beverly Hills, CA 90210
Tel: 310-778-1800 Fax: 310-778-1801
www.gstarc.com

LAND POINT, LLC,
5 N.E. Mizner Blvd.,
Suite 300,
Boca Raton, FL 33432

Florida

ISLAND BREEZE
at Deerfield Beach
1931 N.E. 2nd Street
Deerfield Beach, Broward County

UNIT B1 - BATHROOMS AND KITCHEN ELEVATIONS

PMS 100 30000
 50-4.5" 2
A-4.15
 1-1011-2-11-11
 1992, 10, 2000

ELEVATION 7
SCALE: 3/8"=1'-0" A-4.15

ELEVATION 11
SCALE: 3/8"=1'-0" A-4.15

USABLE MASTER BATHROOM

UNIT B1

SCALE: 3/8"=1'-0"

3
A-4.15

ELEVATION 15
SCALE: 3/8"=1'-0" A-4.15

| DATE | | PAGE | |
|------|--|---------|--|
| 1. | Q. What is the purpose of the study? | 1/22/07 | |
| 2. | What are the objectives of the study? | 2/26/08 | |
| 3. | What are the results of the study? | | |
| 4. | What are the conclusions of the study? | | |
| 5. | What are the recommendations of the study? | | |
| 6. | What are the limitations of the study? | | |
| 7. | What are the strengths of the study? | | |



PERMIT ONLY

UNIT C - BATHROOMS AND KITCHEN ELEVATIONS

Prepared by a registered professional architect and interior designer, the drawings are intended for use in the construction of the project. The drawings are not to be used for any other purpose without the written consent of the architect.

DATE: 10/10/2018

PUBLICATION # 34000
 MODEL #
 A-4.17
 PRINT DATE
 APR. 15, 2000

| | | |
|-----|--------------------|---------|
| 1 | OFFICE COORDINATOR | 4/23/77 |
| 2 | OFFICE SUPERVISOR | 3/21/78 |
| 3 | | |
| 4 | | |
| 5 | | |
| 6 | | |
| 7 | | |
| 8 | | |
| 9 | | |
| 10 | | |
| 11 | | |
| 12 | | |
| 13 | | |
| 14 | | |
| 15 | | |
| 16 | | |
| 17 | | |
| 18 | | |
| 19 | | |
| 20 | | |
| 21 | | |
| 22 | | |
| 23 | | |
| 24 | | |
| 25 | | |
| 26 | | |
| 27 | | |
| 28 | | |
| 29 | | |
| 30 | | |
| 31 | | |
| 32 | | |
| 33 | | |
| 34 | | |
| 35 | | |
| 36 | | |
| 37 | | |
| 38 | | |
| 39 | | |
| 40 | | |
| 41 | | |
| 42 | | |
| 43 | | |
| 44 | | |
| 45 | | |
| 46 | | |
| 47 | | |
| 48 | | |
| 49 | | |
| 50 | | |
| 51 | | |
| 52 | | |
| 53 | | |
| 54 | | |
| 55 | | |
| 56 | | |
| 57 | | |
| 58 | | |
| 59 | | |
| 60 | | |
| 61 | | |
| 62 | | |
| 63 | | |
| 64 | | |
| 65 | | |
| 66 | | |
| 67 | | |
| 68 | | |
| 69 | | |
| 70 | | |
| 71 | | |
| 72 | | |
| 73 | | |
| 74 | | |
| 75 | | |
| 76 | | |
| 77 | | |
| 78 | | |
| 79 | | |
| 80 | | |
| 81 | | |
| 82 | | |
| 83 | | |
| 84 | | |
| 85 | | |
| 86 | | |
| 87 | | |
| 88 | | |
| 89 | | |
| 90 | | |
| 91 | | |
| 92 | | |
| 93 | | |
| 94 | | |
| 95 | | |
| 96 | | |
| 97 | | |
| 98 | | |
| 99 | | |
| 100 | | |



- APR 18 2004

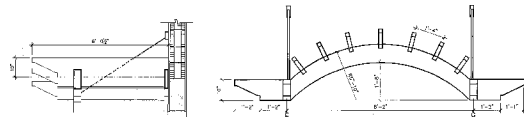
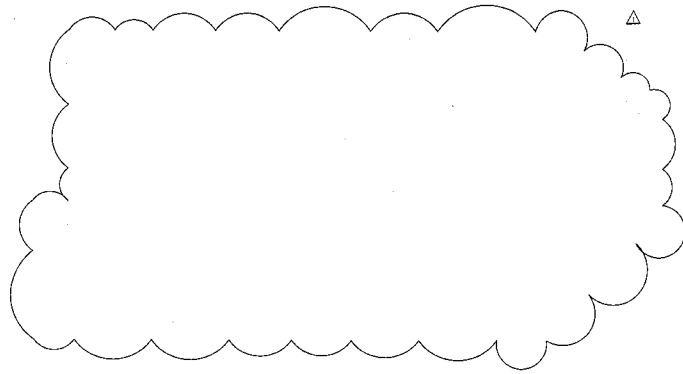


PERMIT ONLY

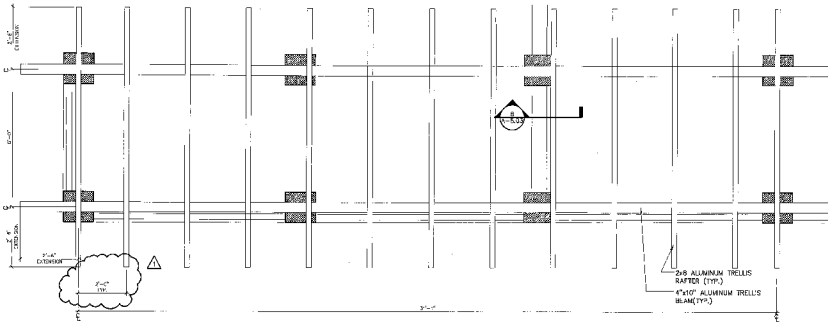
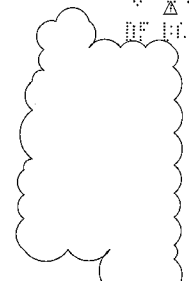
ISLAND BREEZE
at Deerfield Beach
1931 N.E. 2nd Street

UNIT F - BATHROOMS AND KITCHEN ELEVATIONS

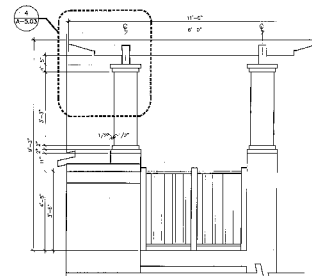
A-4.19



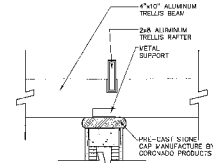
TRELLIS SECTION AND DETAIL 9
SCALE: 1/2"=1'-0" (A-5.03)



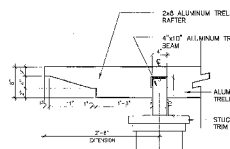
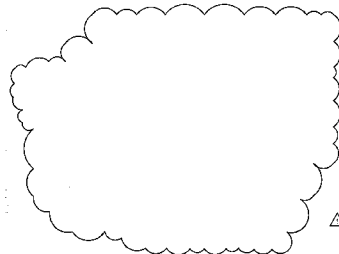
5TH FLOOR TRELLIS PLAN DETAIL 2
SCALE: 1/2"=1'-0" (A-5.03)



5TH FLOOR TRELLIS SIDE DETAIL 6
SCALE: 1/2"=1'-0" (A-5.03)

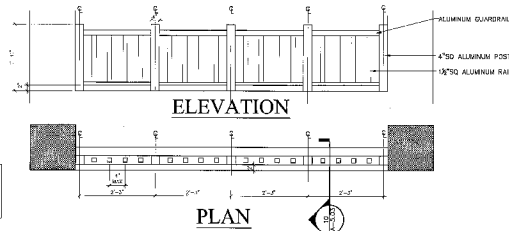


TRELLIS DETAIL 8
SCALE: 1"=1'-0" (A-5.03)



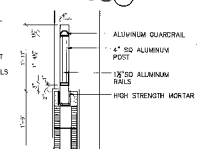
SUNDECK TRELLIS DETAIL 4
SCALE: 1"=1'-0" (A-5.03)

NOTES:
GENERAL CONTRACTOR TO
SUBMIT FOR ARCHITECT
REVISIONS TO BE MADE
NOTES SHOWN IN REVISIONS
TOP GATES, RAILINGS & FENCES
AND TRELLIS COORDINATE WITH
SPECIFICATION MANUAL.



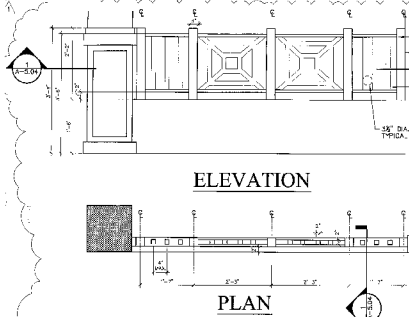
ELEVATION

PLAN



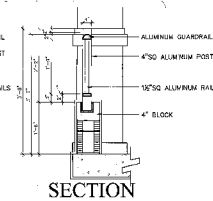
SECTION RAIL DETAIL 10
SCALE: 3/4"=1'-0" (A-5.03)

PERMIT ONLY



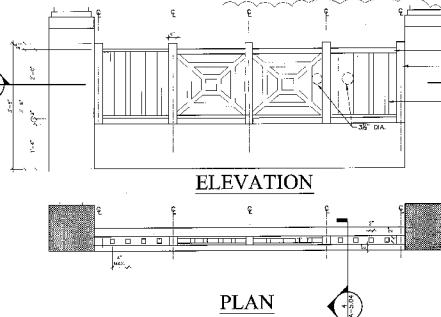
ELEVATION

PLAN



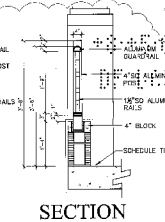
SECTION

RAIL DETAIL 1
SCALE: 3/4"=1'-0" A-5.04



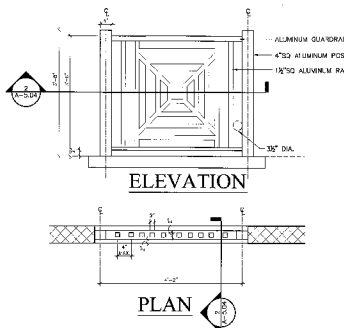
ELEVATION

PLAN



SECTION

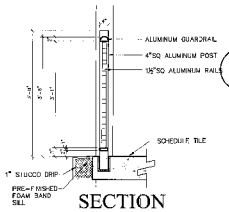
RAIL DETAIL 4
SCALE: 3/4"=1'-0" A-5.04



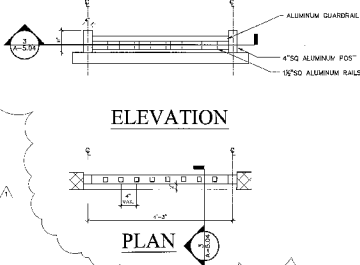
ELEVATION

PLAN

RAIL DETAIL 2
SCALE: 3/4"=1'-0" A-5.04



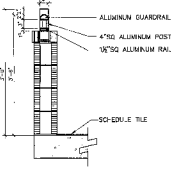
SECTION



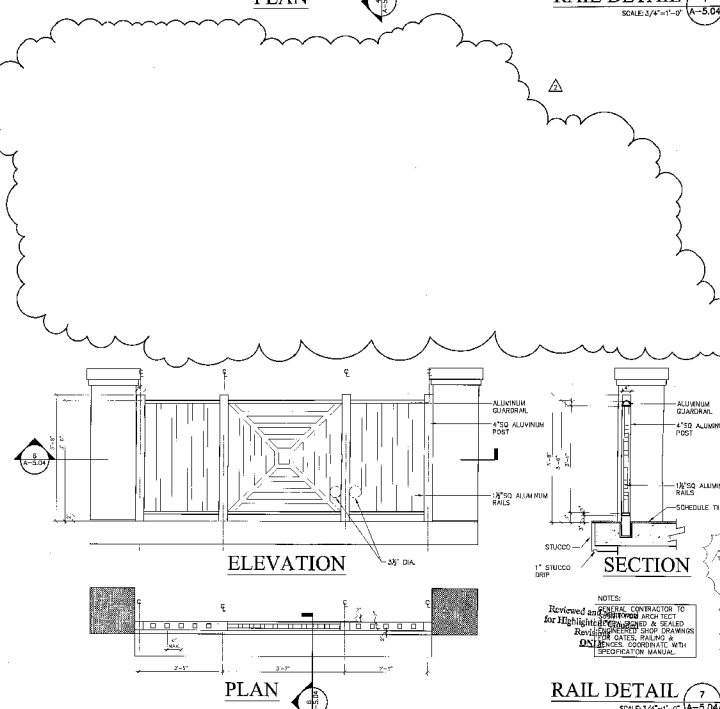
ELEVATION

PLAN

RAIL DETAIL 3
SCALE: 3/4"=1'-0" A-5.04



SECTION



ELEVATION

PLAN

SECTION

RAIL DETAIL 7
SCALE: 3/4"=1'-0" A-5.04

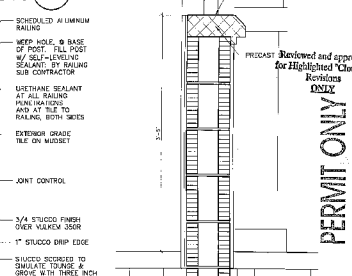
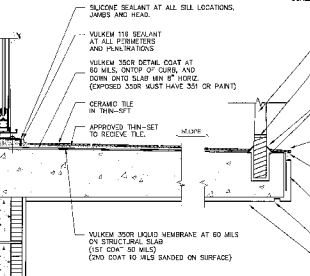
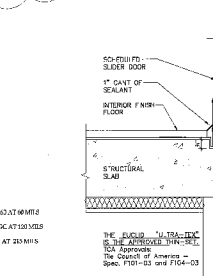
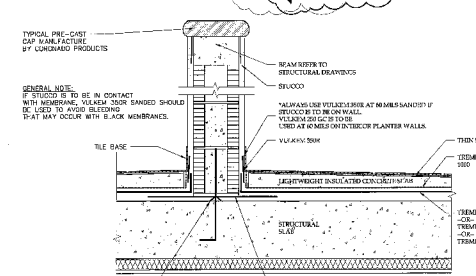
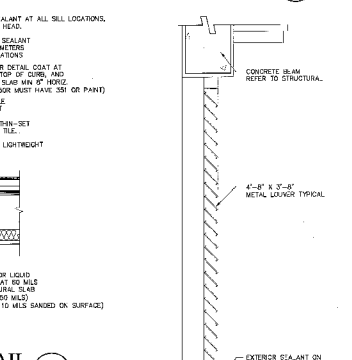
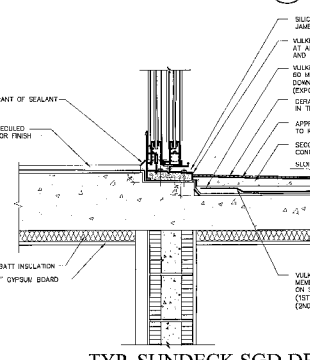
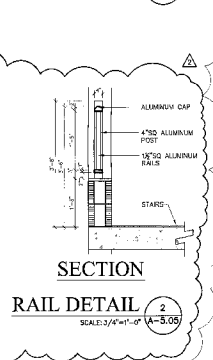
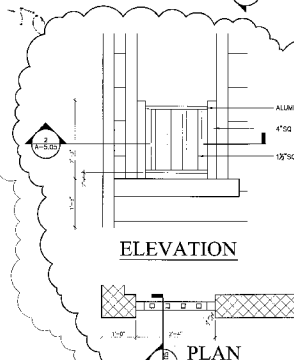
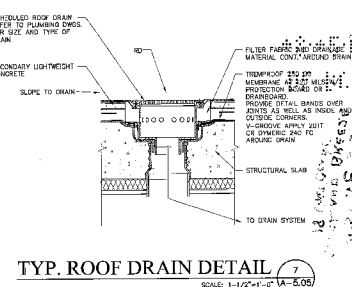
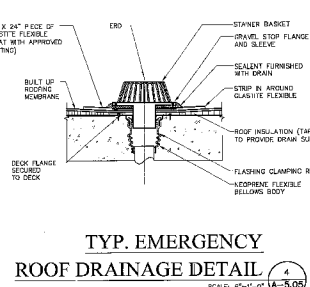
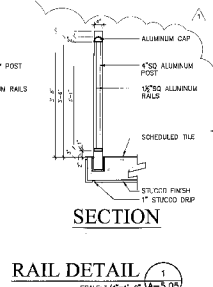
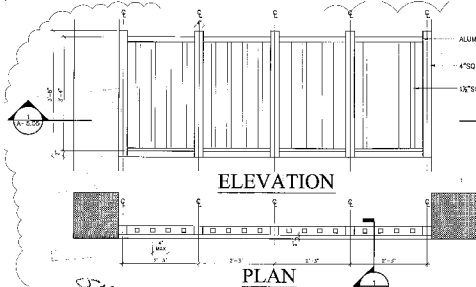
NOTES:
1. REVIEWED AND APPROVED FOR THE PROJECT BY THE DESIGNER.
2. THE DESIGNER IS RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED.
3. THE DESIGNER IS RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED.
4. THE DESIGNER IS RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED.

PERMIT ONLY

GARCIA STROMBERG ASSOCIATES
1001 N.E. 2nd Street
Deerfield Beach, Florida 33441
Phone: 561-241-1111
Fax: 561-241-1112
www.garciastromberg.com

ISLAND BREEZE at Deerfield Beach
1001 N.E. 2nd Street
Deerfield Beach, Florida 33441
Phone: 561-241-1111
Fax: 561-241-1112
www.garciastromberg.com

RAILING DETAILS
A-5.04
10/1/14



GARCIA STROMBERG ARCHITECTS
 1231 N.E. 2nd Street
 Deerfield Beach, Broward County, Florida

ISLAND BREEZE at Deerfield Beach

PERMIT ONLY

A-5.05